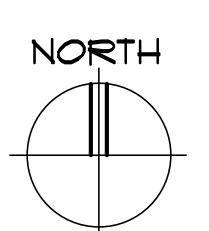


**2 SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

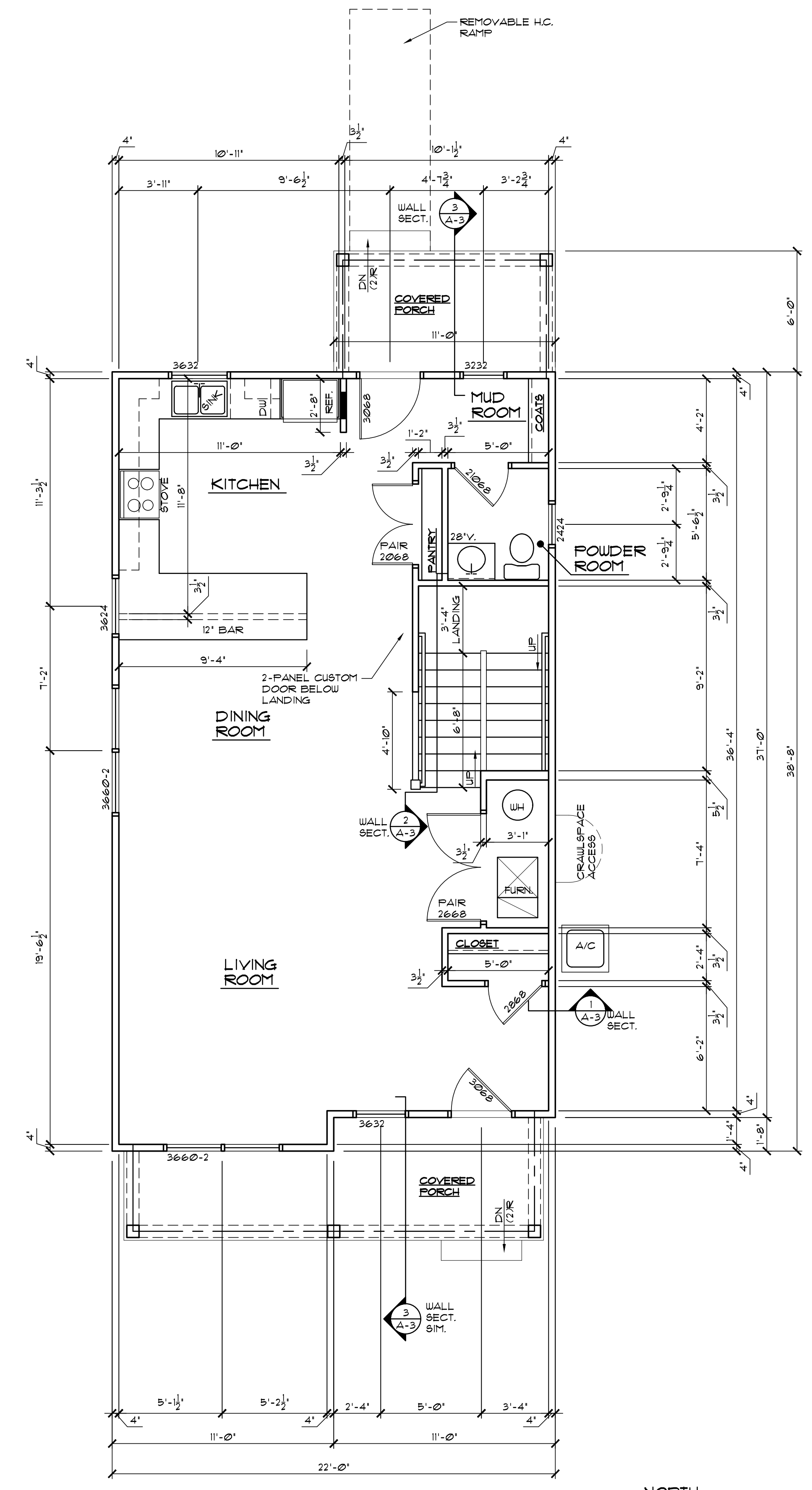


**GENERAL PROJECT NOTES:**

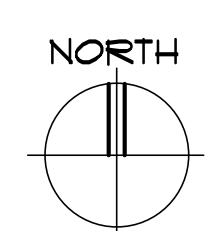
- THE FOLLOWING GENERAL NOTES ARE APPLICABLE THROUGHOUT THESE CONSTRUCTION DRAWINGS.
- NOTHING SET FORTH IN THESE DRAWINGS SHALL RELEASE THE CONTRACTOR FROM ITS RESPONSIBILITY TO PROVIDE APPROPRIATE QUANTITIES, FIELD MEASUREMENTS, DIMENSIONAL STABILITY, INSTALLATION, ANCHORAGE, AND COORDINATION WITH ALL OTHER SUBCONTRACTORS AND TRADES, OR RELEASE THE CONTRACTOR OF RESPONSIBILITY TO IDENTIFY AND RESOLVE DEVIATIONS FROM THE REQUIREMENTS OF THESE DOCUMENTS, OR RELEASE THE CONTRACTOR OF RESPONSIBILITY TO ALERT THE ARCHITECT TO ERRORS OR OMISSIONS CONTAINED THEREIN.
  - THE CONTRACTOR AND ALL ITS SUBCONTRACTORS SHALL VERIFY IN THE FIELD ALL NEW AND EXISTING APPLICABLE CONDITIONS, DIMENSIONS, RELATIONSHIPS, ETC. SHOWN IN THESE DRAWINGS AND AS PERTINENT TO THE INTENT OF THESE DRAWINGS. ANY DISCREPANCY DISCOVERED SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE COMMENCEMENT OF ANY WORK AFFECTED BY, OR RELATED TO, SUCH DISCREPANCY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH, OR CAUSED BY, ITS FAILURE TO COMPLY WITH THIS REQUIREMENT.
  - ELEVATION CALLOUTS INCLUDING 'AFF' (ABOVE FINISH FLOOR) REFERENCE THE FINISHED SURFACE OF THE STRUCTURAL SUBFLOOR PRIOR TO THE APPLICATION OF FLOORING OR FLOOR FINISHES INDICATED ON THE INTERIOR FLOOR PLANS AND INTERIOR ROOM FINISH SCHEDULES UNLESS NOTED OTHERWISE. WHERE MINIMUM CLEAR HEIGHTS OR MAXIMUM HEIGHTS OF CASEWORK AND EQUIPMENT ARE SHOWN, SUCH DIMENSIONS ARE REQUIRED BETWEEN THE TOP OF THE FINISHED FLOORING (AS INDICATED ON THE INTERIOR FLOOR PLANS AND INTERIOR ROOM FINISH PLANS).
  - COORDINATE, PROVIDE, AND INSTALL 2X FIRE TREATED WOOD WALL BLOCKING AS REQUIRED FOR THE ANCHORAGE AND SUPPORT OF ALL NEW CASEWORK, TRIM, TOILET ACCESSORIES, ETC., AS APPLICABLE.
  - AT ALL AREAS WHERE EXISTING FLOOR COVERING OR WALL COVERING MATERIAL IS SHOWN TO BE REMOVED, THE CONTRACTOR SHALL PROPERLY PREPARE THE REMAINING SUB-SURFACE AS REQUIRED BY THE NEW COVERING MANUFACTURER SUCH THAT COVERING PROVIDED BY THE CONTRACTOR MEETS ALL WARRANTY REQUIREMENTS SET FORTH BY THE COVERING MANUFACTURER.

**GENERAL FLOOR PLAN NOTES:**

- THE FOLLOWING GENERAL NOTES ARE APPLICABLE THROUGHOUT THESE CONSTRUCTION DRAWINGS.
- NOTHING SET FORTH IN THESE DRAWINGS SHALL RELEASE THE CONTRACTOR FROM RESPONSIBILITY TO PROVIDE APPROPRIATE QUANTITIES, FIELD MEASUREMENTS, DIMENSIONAL STABILITY, INSTALLATION, ANCHORAGE, AND COORDINATION WITH ALL OTHER SUBCONTRACTORS AND TRADES, OR RELEASE THE CONTRACTOR OF RESPONSIBILITY TO IDENTIFY AND RESOLVE DEVIATIONS FROM THE REQUIREMENTS OF THESE DOCUMENTS, OR RELEASE THE CONTRACTOR OF RESPONSIBILITY TO ALERT THE ARCHITECT TO ERRORS OR OMISSIONS CONTAINED THEREIN.
  - THE CONTRACTOR AND ALL ITS SUBCONTRACTORS SHALL VERIFY IN THE FIELD ALL NEW AND EXISTING APPLICABLE CONDITIONS, DIMENSIONS, RELATIONSHIPS, ETC. SHOWN IN THESE DRAWINGS AND AS PERTINENT TO THE INTENT OF THESE DRAWINGS. ANY DISCREPANCY DISCOVERED SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE COMMENCEMENT OF ANY WORK AFFECTED BY, OR RELATED TO, SUCH DISCREPANCY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH, OR CAUSED BY, ITS FAILURE TO COMPLY WITH THIS REQUIREMENT.
  - ALL FLOOR PLAN DIMENSIONS SHOWN ON THE NEW FLOOR PLANS ARE FROM FACE OF STRUCTURAL INSULATED PANELS OR FACE OF STUD FRAMING UNLESS INDICATED OTHERWISE BY THE DESIGNATIONS 'CLR', 'CLEAR', 'FIN', OR 'FIN', COORDINATE WITH APPLICABLE NEW WALL TYPES AND WITH APPLICABLE SECTION / DETAILS.
  - ALL NEW DOOR FRAMES ARE LOCATED 5' FROM THE ADJACENT WALL FACE (TO OUTER EDGE OF FRAME, NOT TRIM) UNLESS DIMENSIONED OR DETAILED OTHERWISE.
  - AT ALL WALLS SCHEDULED TO RECEIVE CERAMIC, PROVIDE GLASS MAT INTERIOR GYPSUM WALLBOARD FOR THE STANDARD GYPSUM WALLBOARD IDENTIFIED IN THE WALL TYPES. REFER TO ROOM FINISH SCHEDULE FOR LOCATIONS OF CERAMIC TILE. PROVIDE CEMENT TRACKER LOAD AT NATURAL SLATE TILE. REFER TO ROOM FINISH SCHEDULE FOR LOCATIONS OF SLATE.
  - CONFIRM TUB SURROUND WITH G. C.
  - CLOSET SHELVES: (5) 16" DEEP SPACED EVENLY UP TO 5'-8" ON 1/2 PAINTED CLEATS
  - ALL FIRE BLOCK TO BE PROVIDED BY G.C.
  - ALL INTERIOR WALLS TO BE 2X4 STUDS @ 16" O.C. UNLESS NOTED OTHERWISE.
  - BALLOON FRAME AT EXTERIOR STAIR WALL.



**1 FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



PROJECT NO:  
2

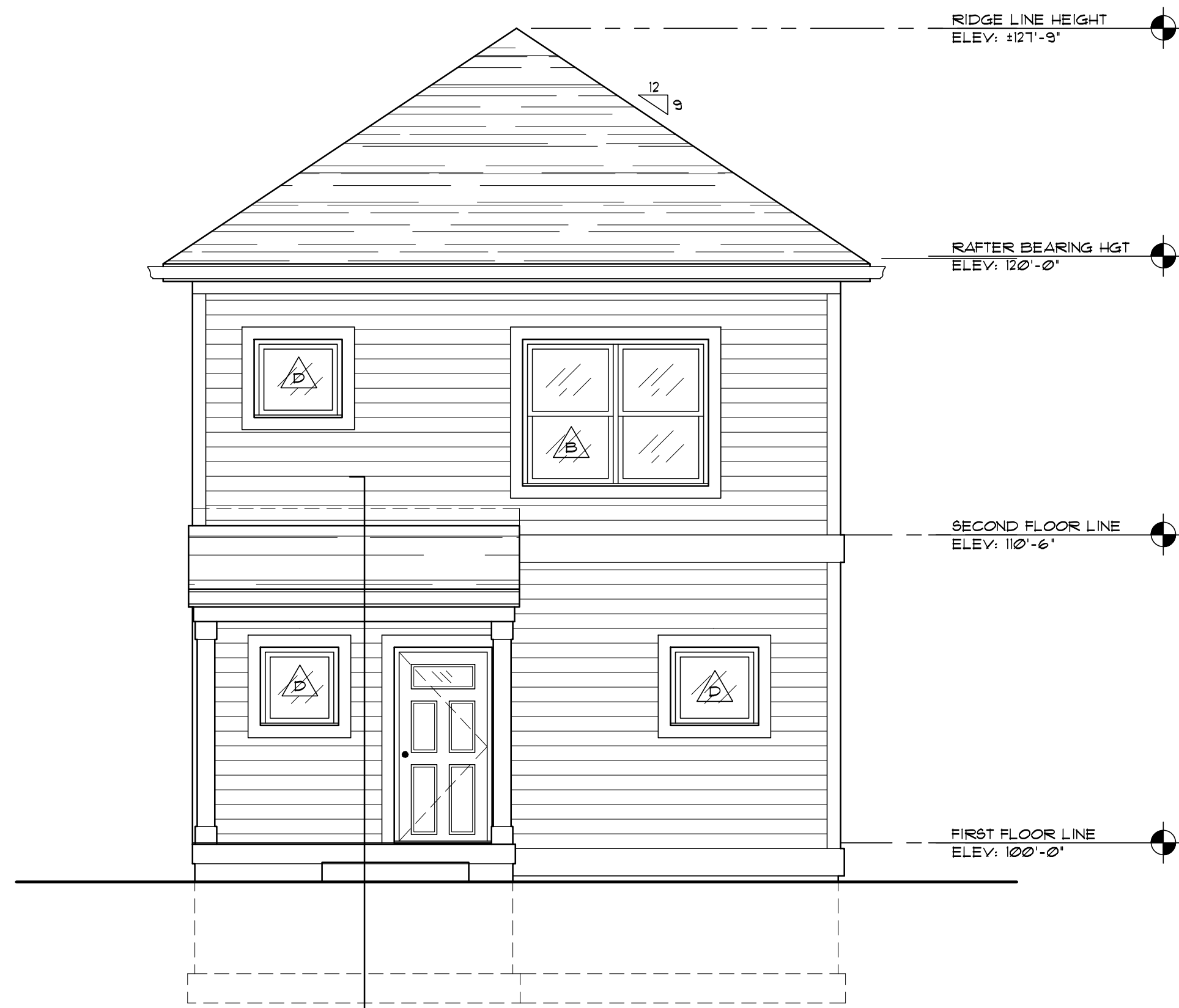
3 BR - 2.5 BATH

**INHP**  
**AL SMITH - SCHEME B**  
101 NORTH DENNY STREET  
INDIANAPOLIS, INDIANA

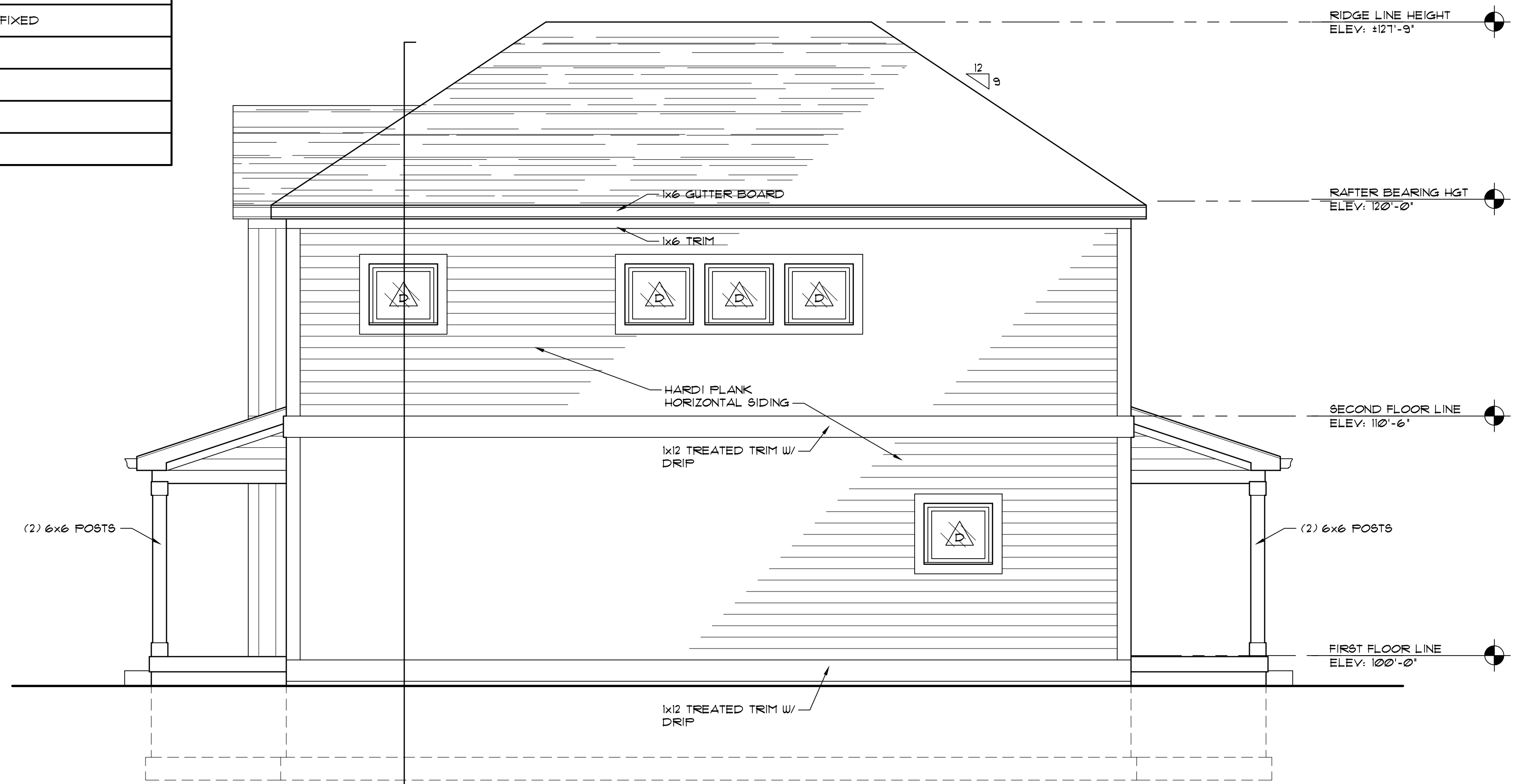
ISSUE DATE:  
FEBRUARY 16, 2025

**A-1**  
SHEET NO.

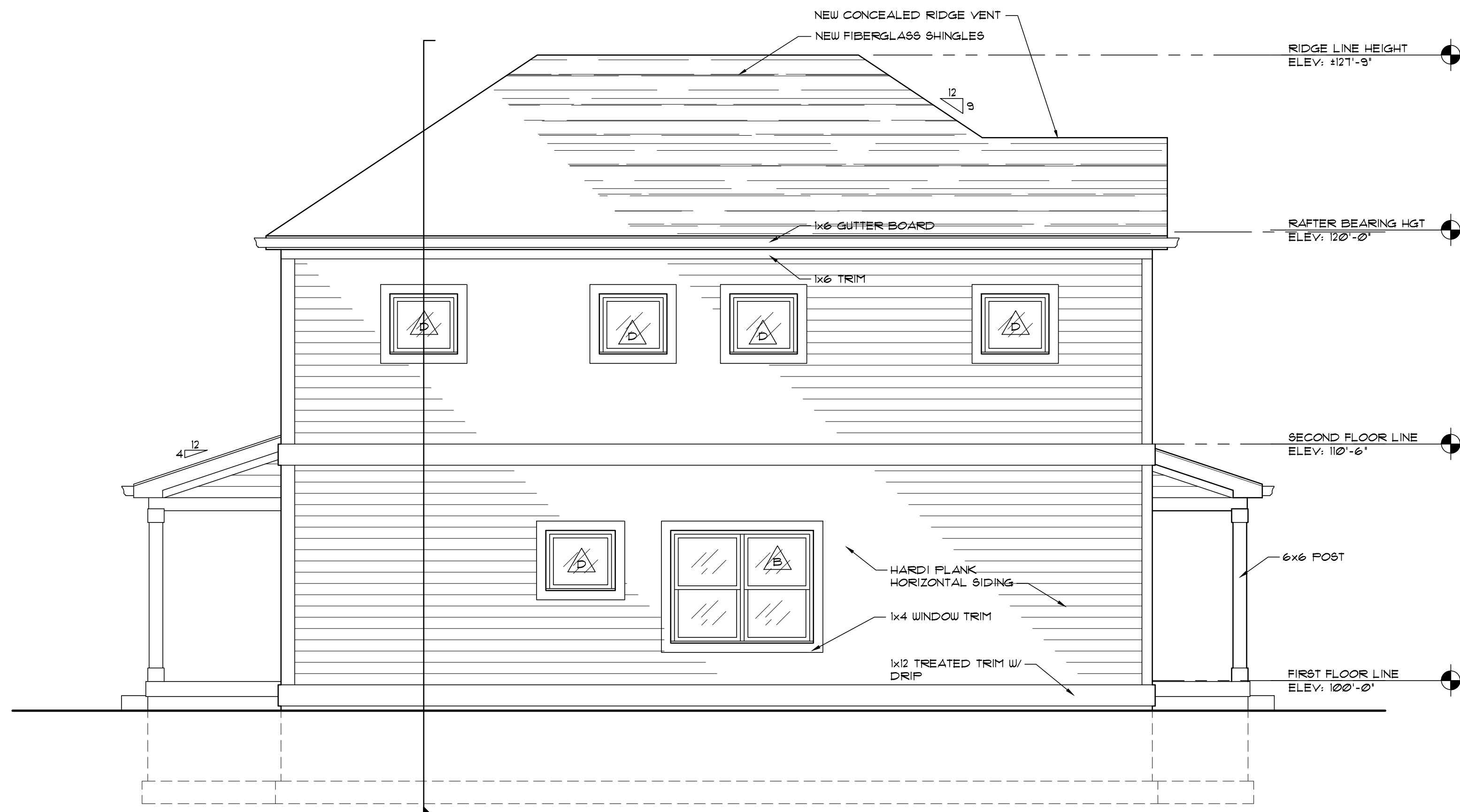
WINDOW NO.	WINDOW SIZES (R.O.)			COMMENTS
	WIDTH	HEIGHT	HEAD HEIGHT	
	A	3'-0"	4'-0"	
B	6'-4"	5'-0"	6'-8"	DOUBLE HUNG
D	3'-0"	2'-8"	6'-8"	FIXED



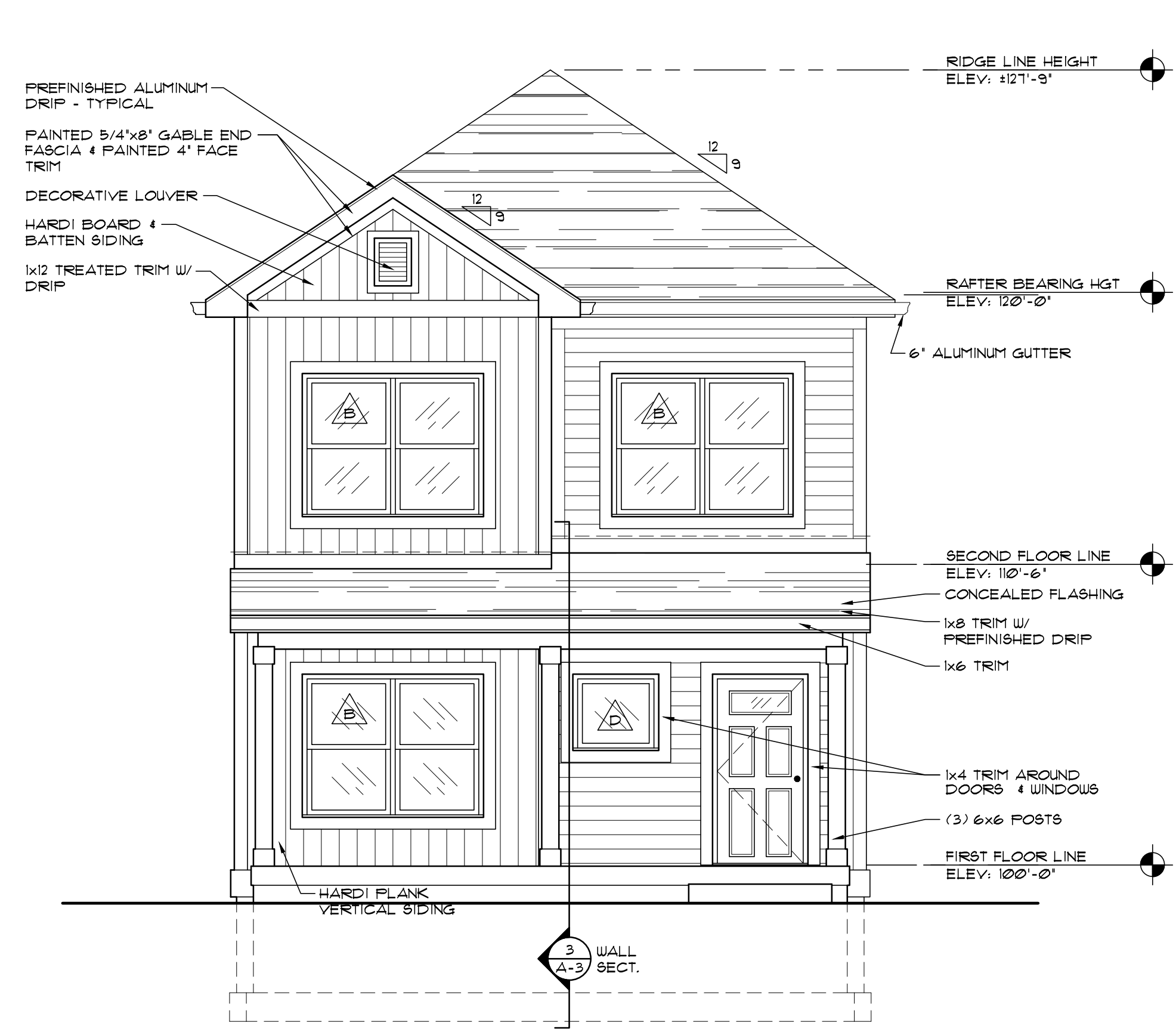
4 WEST ELEVATION  
SCALE: 1/4" = 1'-0"



4 NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



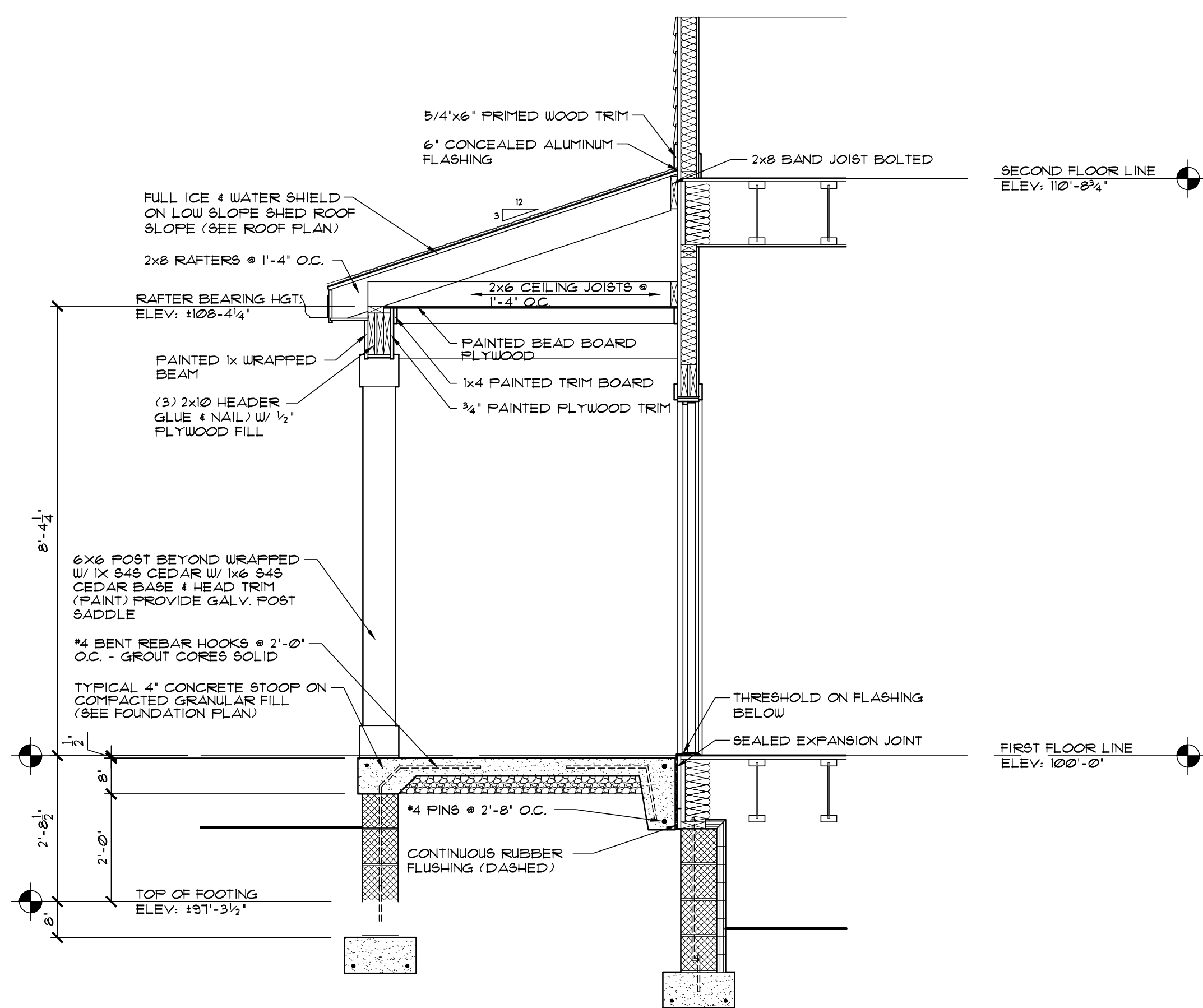
1 EAST ELEVATION  
SCALE: 1/4" = 1'-0"

PROJECT NO: 2

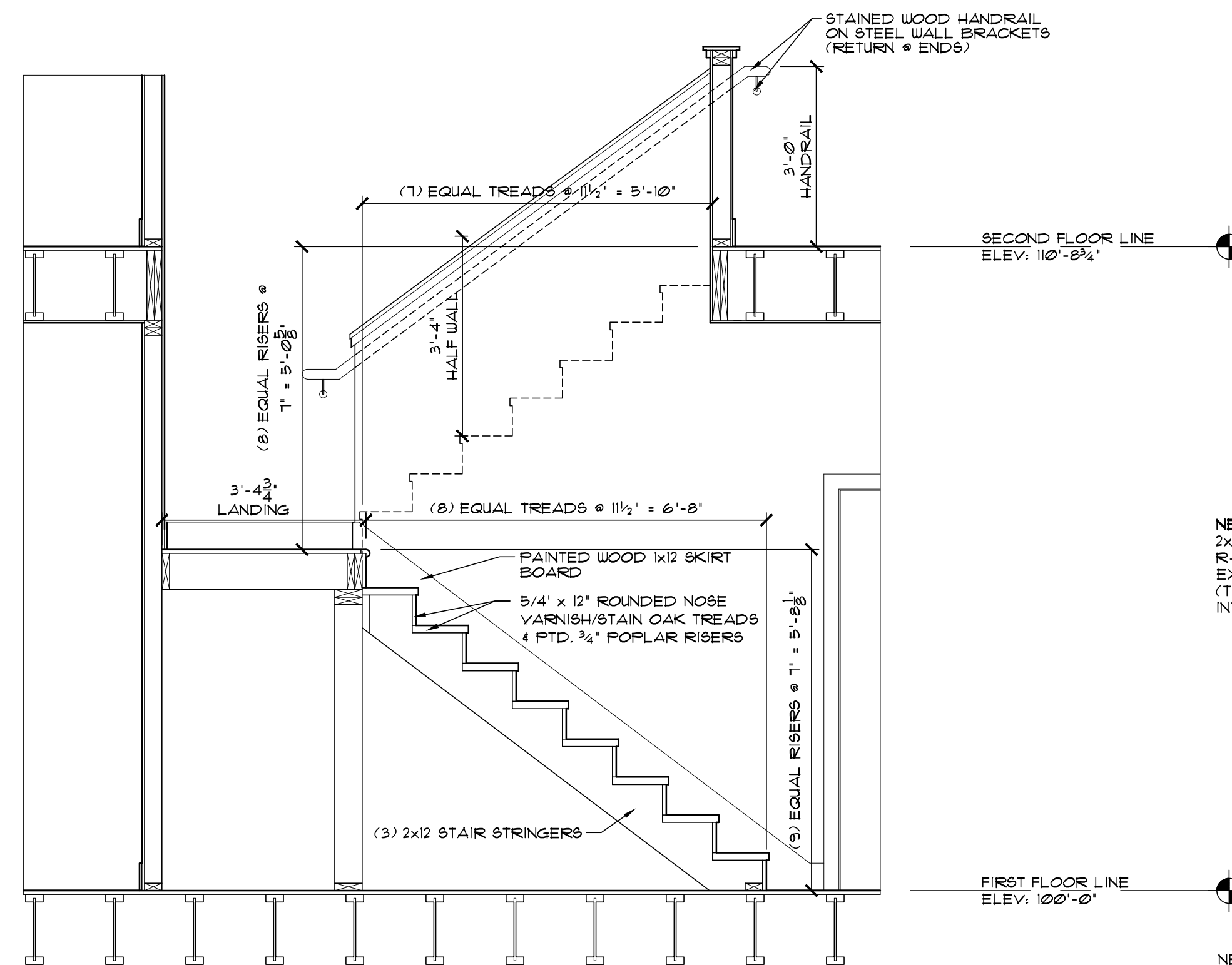
3 BR - 2.5 BATH  
**INHP**  
**AL SMITH - SCHEME B**  
101 NORTH DENNY STREET  
INDIANAPOLIS, INDIANA

ISSUE DATE:  
FEBRUARY 18, 2025

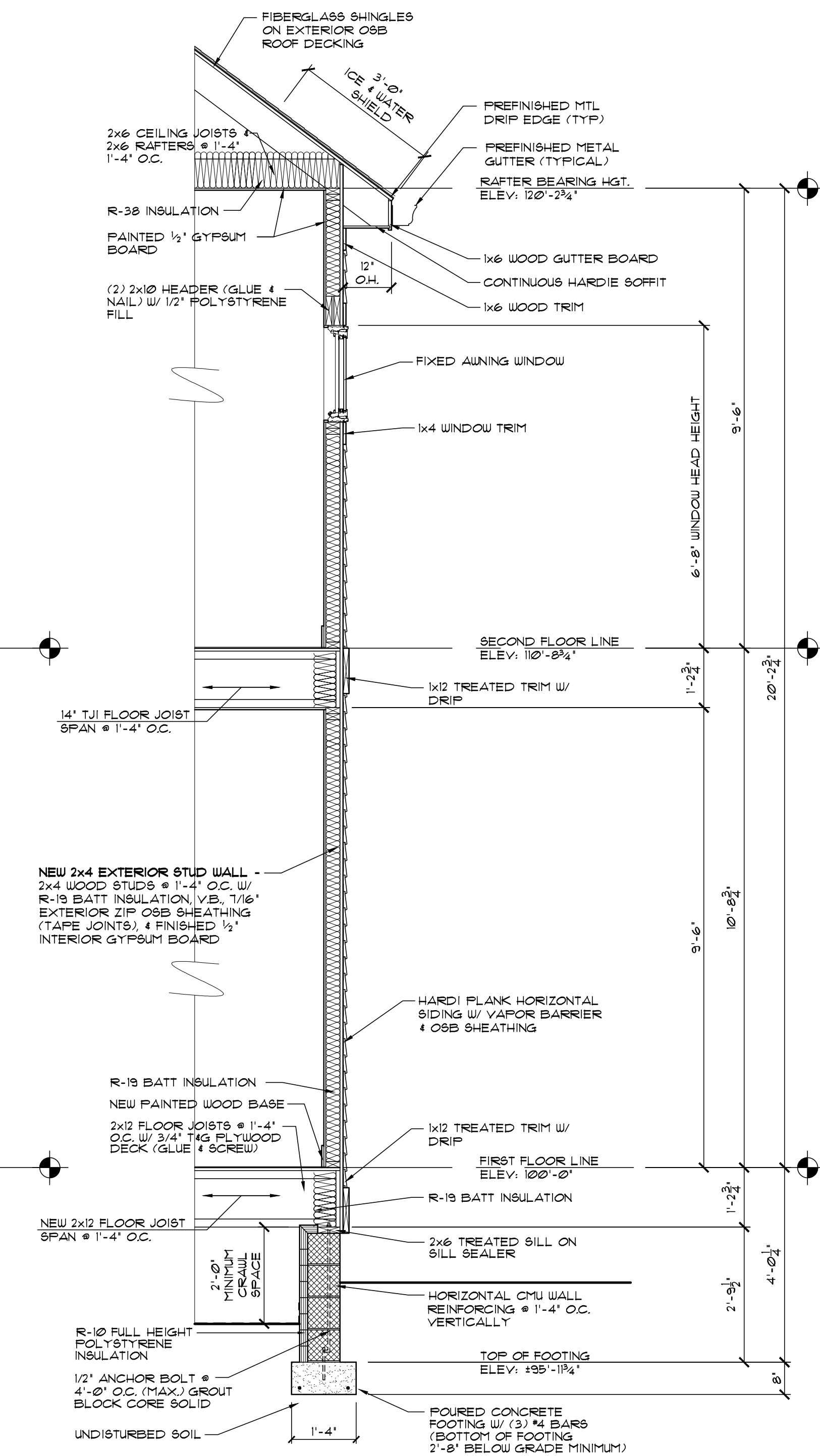
A-2  
SHEET NO.



3 WALL SECTION @ REAR PORCH  
 A-3 SCALE: 1/2" = 1'-0"



2 WALL SECTION @ STAIR  
 A-3 SCALE: 1/2" = 1'-0"



1 WALL SECTION @ EXTERIOR WALL  
 A-3 SCALE: 1/2" = 1'-0"

PROJECT NO:  
2

3 BR - 2.5 BATH  
 INHP  
 AL SMITH - SCHEME B  
 101 NORTH DENNY STREET  
 INDIANAPOLIS, INDIANA

ISSUE DATE:  
FEBRUARY 16, 2025

3

A-3  
 SHEET NO.

**GENERAL ROOF PLAN NOTES:**

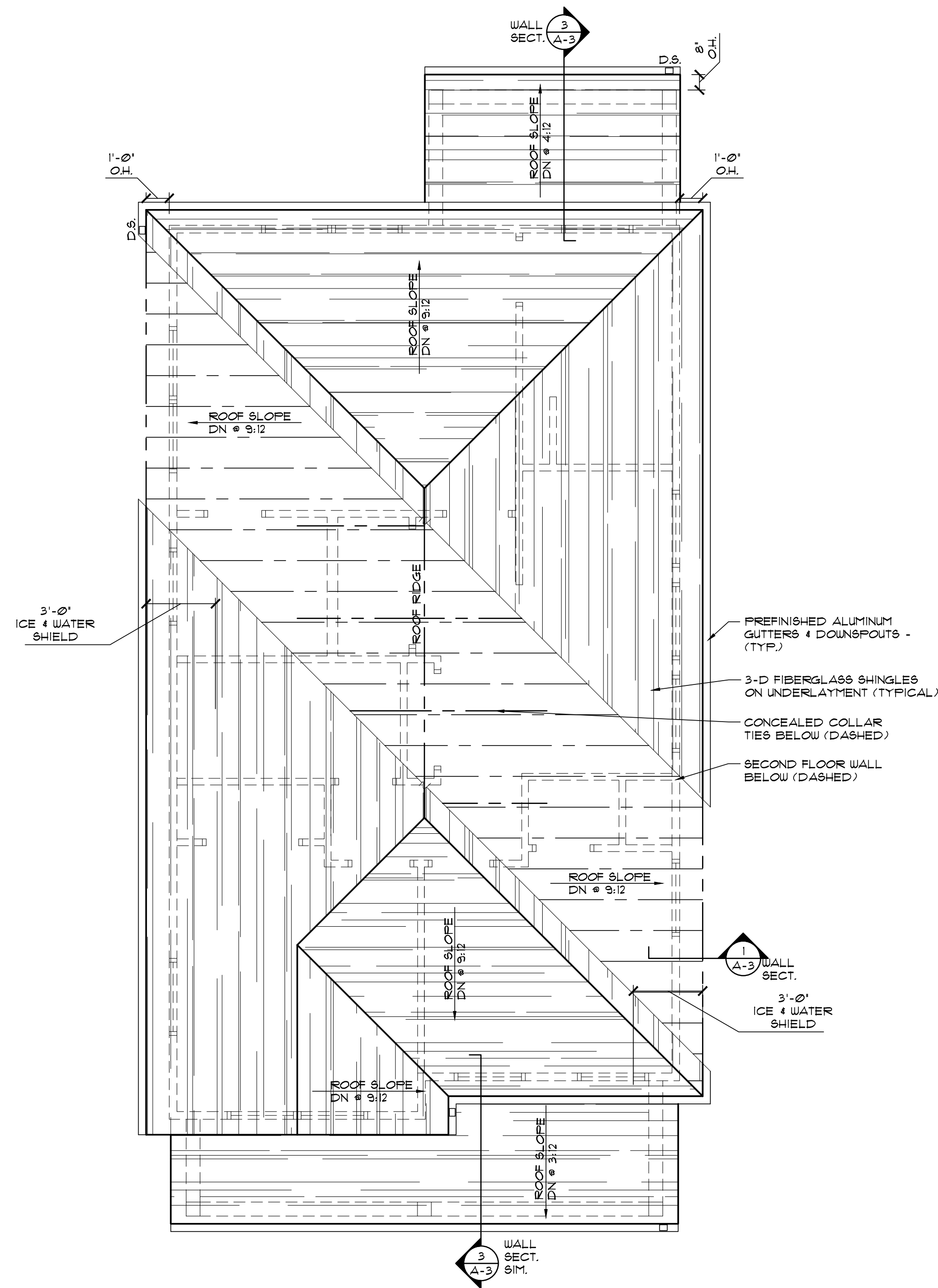
THE FOLLOWING GENERAL NOTES ARE APPLICABLE THROUGHOUT THESE CONSTRUCTION DRAWINGS.

WEATHER LIMITATIONS: PROCEED WITH INSTALLATION ONLY WHEN EXISTING AND FORECASTED WEATHER CONDITIONS PERMIT ROOFING SYSTEM TO BE INSTALLED ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS AND WARRANTY REQUIREMENTS.

- A. COORDINATE INSTALLING MEMBRANE ROOF AND SYSTEM COMPONENTS SO INSULATION IS NOT EXPOSED TO PRECIPITATION OR LEFT EXPOSED AT THE END OF THE WORKDAY.
- B. COMPLY WITH MEMBRANE ROOFING SYSTEM AND INSULATION MANUFACTURER'S WRITTEN INSTRUCTIONS FOR INSTALLING ROOF INSULATION.
- C. REPAIR OR REMOVE AND REPLACE COMPONENTS OF MEMBRANE ROOFING SYSTEM WHERE INSPECTIONS INDICATE THAT THEY DO NOT COMPLY WITH SPECIFIED REQUIREMENTS.
- D. PROVIDE GRACE ICE & WATER SHIELD AT ALL EAVES, VALLEYS, SLOPE BREAKS, AND DORMER WALLS.
- E. SIZE GUTTERS & DOWNSPOUTS IN ACCORDANCE WITH SMACNA STANDARDS.
- F. PLUMBING VENTS & OTHER PENETRATIONS SHALL BE LOCATED IN INCONSPICUOUS LOCATIONS, CONFIRM LOCATIONS WITH OWNER AND ARCHITECT.
- G. PROVIDE PROPERLY SIZED BOOTS/FLASHING AT ALL ROOF PENETRATIONS ALL TO THE PROPERTY.
- H. INSTALL METAL STEP FLASHING WHERE ROOFING MEETS WALLS, CHIMNEYS, OR OTHER VERTICAL SURFACES.
- I. PROVIDE BOX TYPE ROOF VENTS WHERE ADDITIONAL VENT AREA IS REQUIRED. CONFIRM LOCATIONS WITH OWNER AND ARCHITECT.
- J. PROVIDE CONTIGUOUS EDGE VENTING OR VENTED SOFFIT MATERIAL. (SEE WALL SECTIONS FOR ADDITIONAL DETAIL.)
- K. ENSURE ALL PENETRATION CURBS / FLASHING ARE AT LEAST 8" ABOVE MEMBRANE.

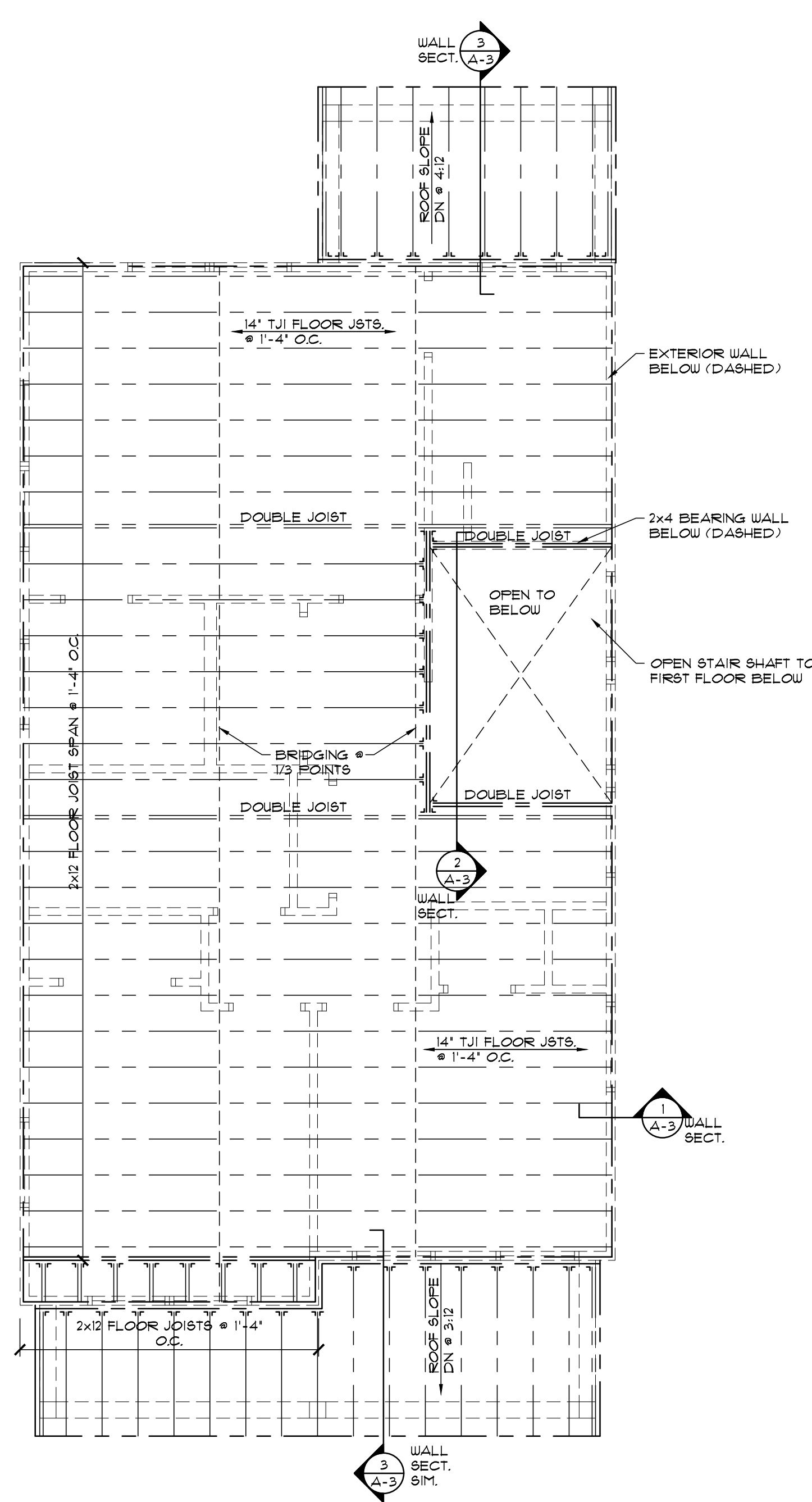
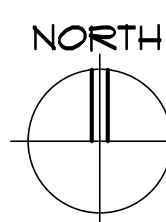
**FOUNDATION GENERAL NOTES:**

- 1. FOUNDATION SHALL BE DESIGNED CERTIFIED BY A STRUCTURAL ENGINEER AS REQUIRED FOR SOIL/GROUND CONDITIONS. COORDINATE WITH ARCHITECT AS NEEDED FOR PROPER CONNECTIONS TO HOUSE, FRAMING, AND CONCRETE SLAB.
- 2. FOUNDATION FOOTINGS MUST BE A MINIMUM OF 30" BELOW GRADE.
- 3. FOOTINGS SHALL BEAR ON UNDISTURBED SOIL, UNLESS NOTED OTHERWISE.
- 4. FLOOR SLAB AREAS TO BE COMPACTED TO 95% MAX. DRY DENSITY.
- 5. STRUCTURAL CONCRETE FOOTINGS TO BE 20000 PSI. WALLS AND SLABS 35000 PSI.
- 6. BOTTOM OF ALL FOOTINGS TO BE SET BELOW LOCAL FROST LINE. SEE DETAILS.
- 7. CONCRETE TRENCH FOOTINGS TO BE POURED CONC. REINFORCED PER LOCAL CODES AND CONDITIONS.
- 8. PROVIDE HOT DIPPED GALVANIZED ANCHOR BOLTS 1/2" DIA X 10" STARTING 11 6" FROM EACH CORNER 11 6" O.C. AND AT EACH SIDE OF ALL OPENINGS (MIN. 12" PER PIECE OF SILL PLATE).
- 9. GARAGE SLABS ARE TO BE SEALED/FINISHED.
- 10. SLABS IN CONDITIONED SPACE ARE TO BE TROUELED SMOOTH.
- 11. FOUNDATION WALLS ARE 8" THICK CONCRETE UNO.



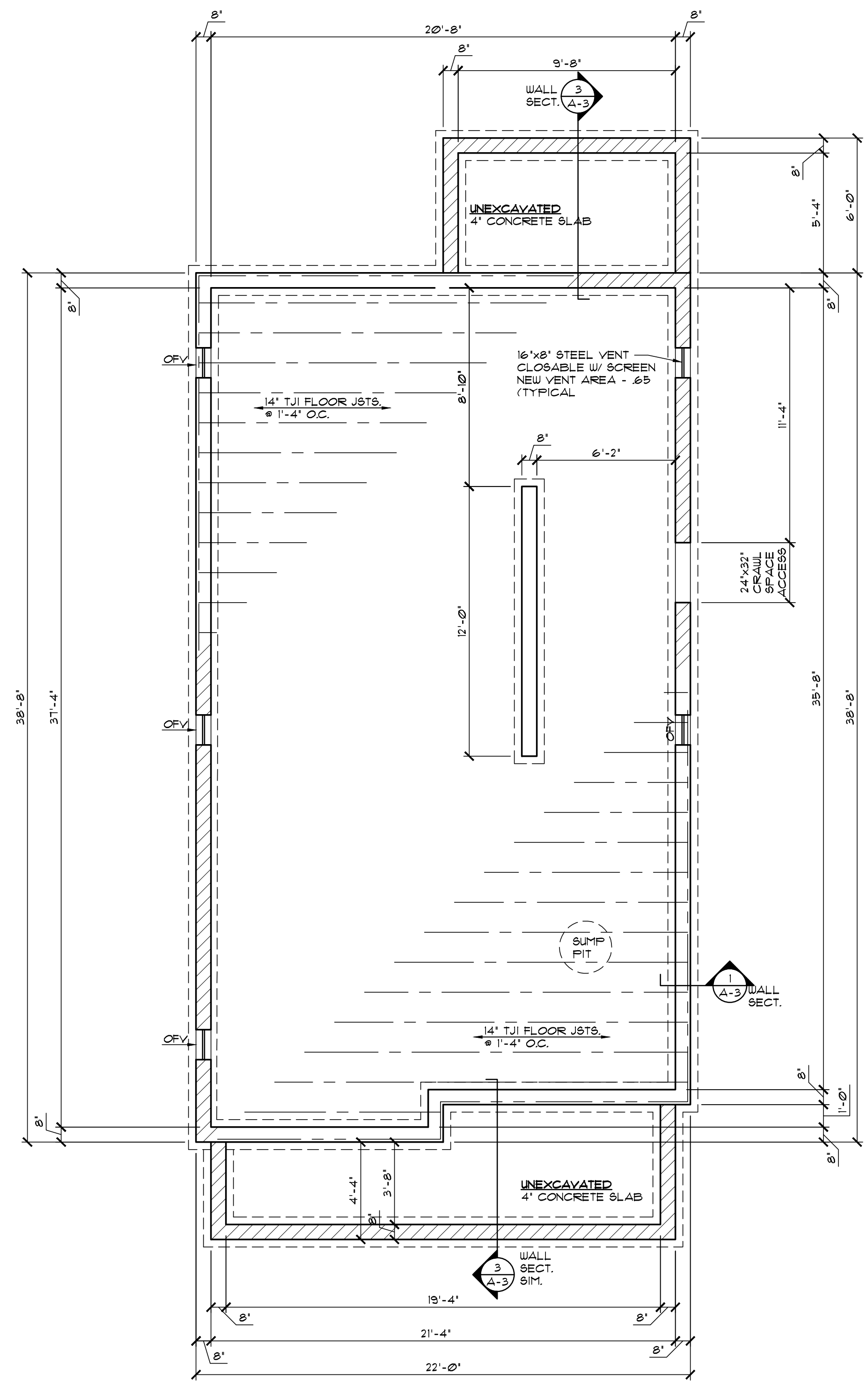
**ROOF FRAMING/  
ROOF PLAN**

SCALE: 1/4" = 1'-0"



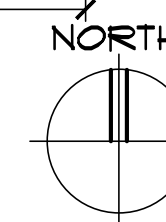
**SECOND FLOOR  
FRAMING PLAN**

SCALE: 1/4" = 1'-0"



**FOUNDATION PLAN**

SCALE: 1/4" = 1'-0"



PROJECT NO:  
2

3 BR - 2.5 BATH

**INHP**

**AL SMITH - SCHEME B**  
101 NORTH DENNY STREET  
INDIANAPOLIS, INDIANA

ISSUE DATE:  
FEBRUARY 16, 2025

**S-1**  
SHEET NO.

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSR	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS	
A	GENERAL LIABILITY			4X76624	08/18/2024	08/18/2025	EACH OCCURRENCE	\$ 1,000,000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY						DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 500,000
	<input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR						MED EXP (Any one person)	\$ 10,000
							PERSONAL & ADV INJURY	\$ 1,000,000
							GENERAL AGGREGATE	\$ 2,000,000
	GEN'L AGGREGATE LIMIT APPLIES PER:						PRODUCTS - COMP/OP AGG	\$ 2,000,000
	<input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC						\$	
A	AUTOMOBILE LIABILITY			4E76624	08/18/2024	08/18/2025	COMBINED SINGLE LIMIT (Ea accident)	\$ 1,000,000
	<input type="checkbox"/> ANY AUTO						BODILY INJURY (Per person)	\$
	<input type="checkbox"/> ALL OWNED AUTOS						BODILY INJURY (Per accident)	\$
	<input type="checkbox"/> SCHEDULED AUTOS						PROPERTY DAMAGE (PER ACCIDENT)	\$
	<input checked="" type="checkbox"/> HIRED AUTOS							\$
	<input checked="" type="checkbox"/> NON-OWNED AUTOS							\$
A	<input checked="" type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR			4J76624	08/06/2024	08/18/2025	EACH OCCURRENCE	\$ 1,000,000
	<input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE						AGGREGATE	\$ 1,000,000
	<input type="checkbox"/> DEDUCTIBLE							\$
	RETENTION \$ 10,000							\$
A	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY			4H76624	08/18/2024	08/18/2025	<input checked="" type="checkbox"/> WC STATU-TORY LIMITS <input type="checkbox"/> CTH-ER	
	ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH)	<input type="checkbox"/> Y <input type="checkbox"/> N	N/A				E.L. EACH ACCIDENT	\$ 500,000
	If yes, describe under DESCRIPTION OF OPERATIONS below						E.L. DISEASE - EA EMPLOYEE	\$ 500,000
							E.L. DISEASE - POLICY LIMIT	\$ 500,000
A	Builders Risk			4X76624	08/18/2024	08/18/2025	Buildings	Per Schedul
DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)								

**CERTIFICATE HOLDER**

**CANCELLATION**

Indianapolis Neighborhood Housing Partnership, INC Jeff Howe 3550 Washington Blvd Indianapolis, IN 46205	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.
	AUTHORIZED REPRESENTATIVE Protect All Insurance Agency

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