

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

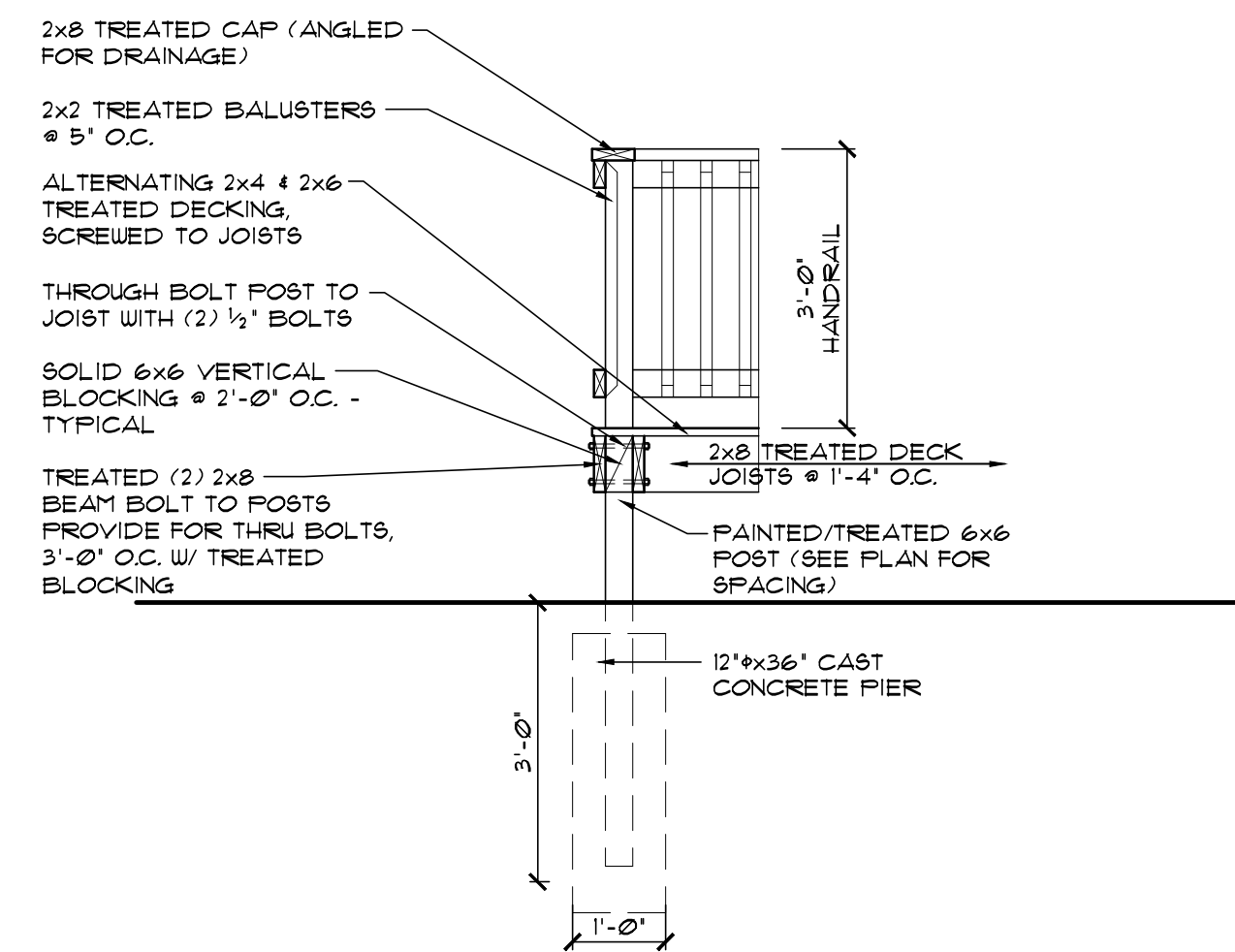
INSR LTR	TYPE OF INSURANCE	ADDL INSR	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS	
A	GENERAL LIABILITY			4X76624	08/18/2024	08/18/2025	EACH OCCURRENCE	\$ 1,000,000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY						DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 500,000
	<input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR						MED EXP (Any one person)	\$ 10,000
							PERSONAL & ADV INJURY	\$ 1,000,000
							GENERAL AGGREGATE	\$ 2,000,000
	GEN'L AGGREGATE LIMIT APPLIES PER:						PRODUCTS - COMP/OP AGG	\$ 2,000,000
	<input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC						\$	
A	AUTOMOBILE LIABILITY			4E76624	08/18/2024	08/18/2025	COMBINED SINGLE LIMIT (Ea accident)	\$ 1,000,000
	<input type="checkbox"/> ANY AUTO						BODILY INJURY (Per person)	\$
	<input type="checkbox"/> ALL OWNED AUTOS						BODILY INJURY (Per accident)	\$
	<input type="checkbox"/> SCHEDULED AUTOS						PROPERTY DAMAGE (PER ACCIDENT)	\$
	<input checked="" type="checkbox"/> HIRED AUTOS							\$
	<input checked="" type="checkbox"/> NON-OWNED AUTOS							\$
A	<input checked="" type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR			4J76624	08/06/2024	08/18/2025	EACH OCCURRENCE	\$ 1,000,000
	<input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE						AGGREGATE	\$ 1,000,000
	<input type="checkbox"/> DEDUCTIBLE							\$
	RETENTION \$ 10,000							\$
A	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY			4H76624	08/18/2024	08/18/2025	<input checked="" type="checkbox"/> WC STATU-TORY LIMITS <input type="checkbox"/> CTH-ER	
	ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH)	<input type="checkbox"/> Y / <input type="checkbox"/> N	N / A				E.L. EACH ACCIDENT	\$ 500,000
	If yes, describe under DESCRIPTION OF OPERATIONS below						E.L. DISEASE - EA EMPLOYEE	\$ 500,000
							E.L. DISEASE - POLICY LIMIT	\$ 500,000
A	Builders Risk			4X76624	08/18/2024	08/18/2025	Buildings	Per Schedul
DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)								

**CERTIFICATE HOLDER**

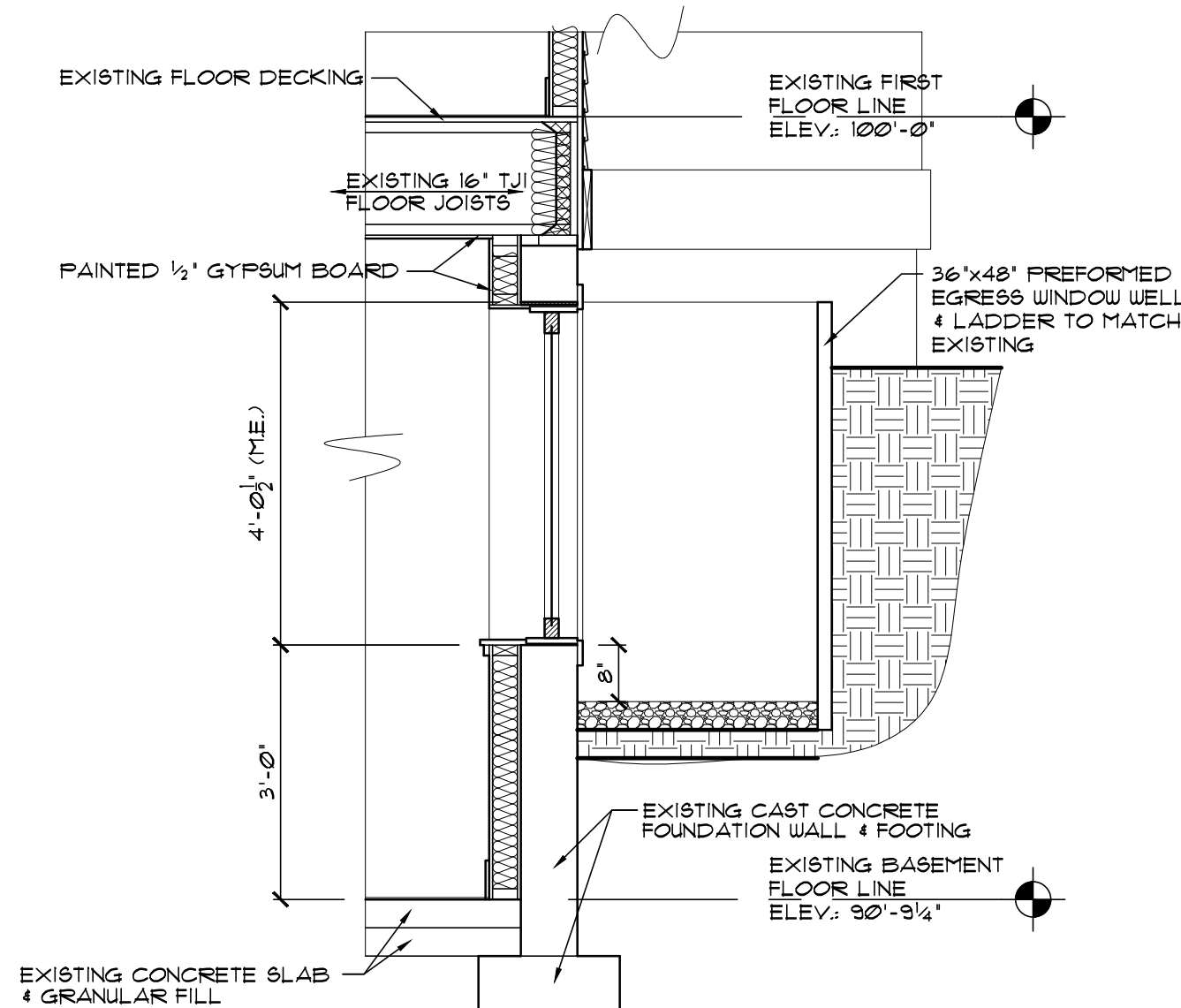
**CANCELLATION**

Indianapolis Neighborhood Housing Partnership, INC Jeff Howe 3550 Washington Blvd Indianapolis, IN 46205	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.
	AUTHORIZED REPRESENTATIVE Protect All Insurance Agency

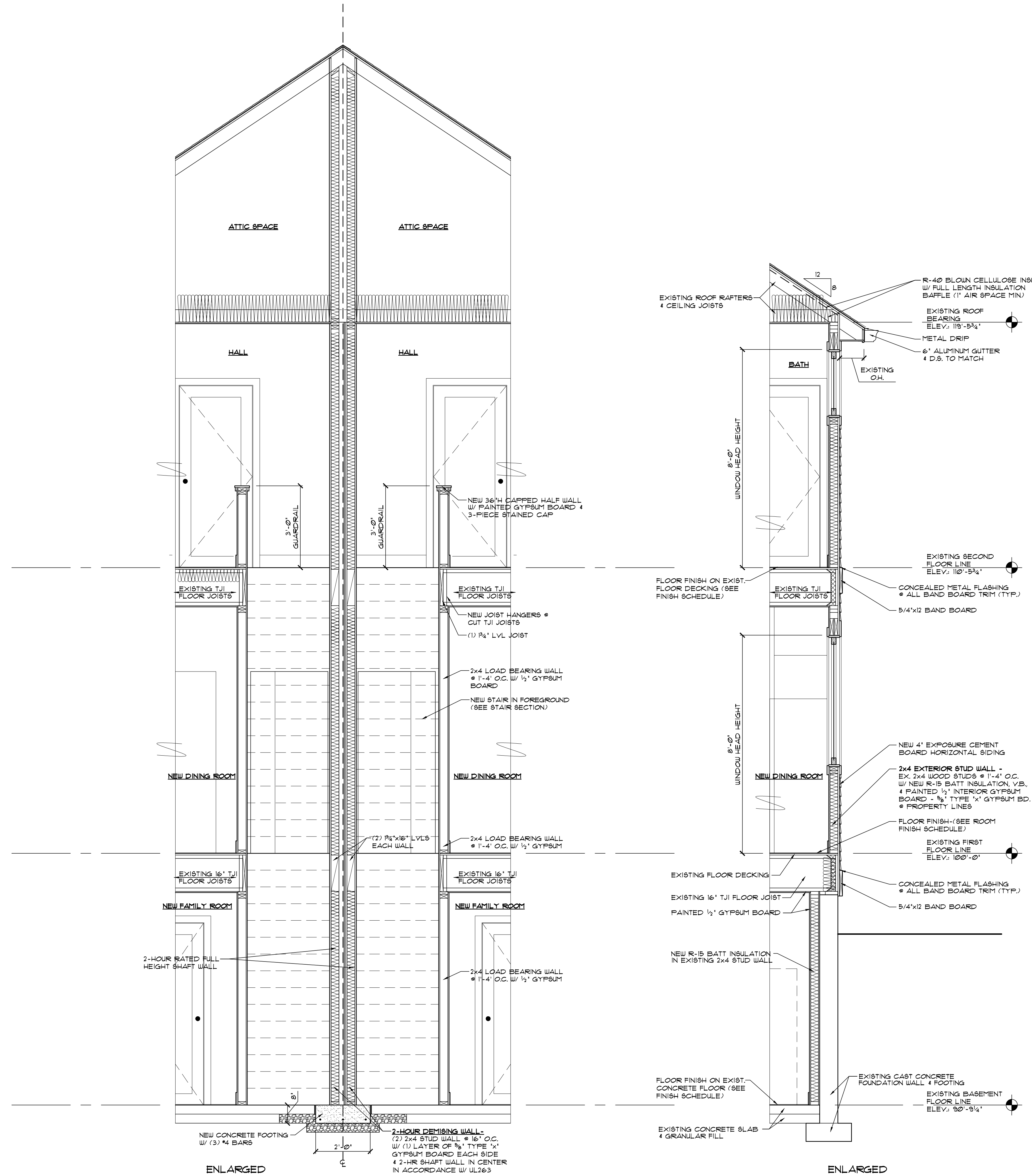
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**4 DECK HANDRAIL SECTION**  
SCALE: 1/2" = 1'-0"



**3 WINDOW WELL SECTION**  
SCALE: 1/2" = 1'-0"



**2 ENLARGED WALL SECTION**  
SCALE: 1/2" = 1'-0"

**1 ENLARGED WALL SECTION**  
SCALE: 1/2" = 1'-0"

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PROJECT NO:  
2410

TWO FAMILY TOWNHOUSE SEPARATION OF:

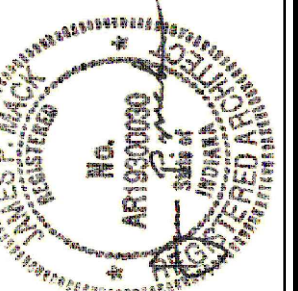
**2126 DELAWARE STREET**

INDIANAPOLIS, INDIANA 46202

ISSUE DATE:  
FEBRUARY 5, 2025

REVISIONS:

CERTIFICATION

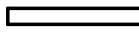
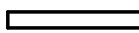
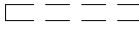
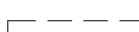


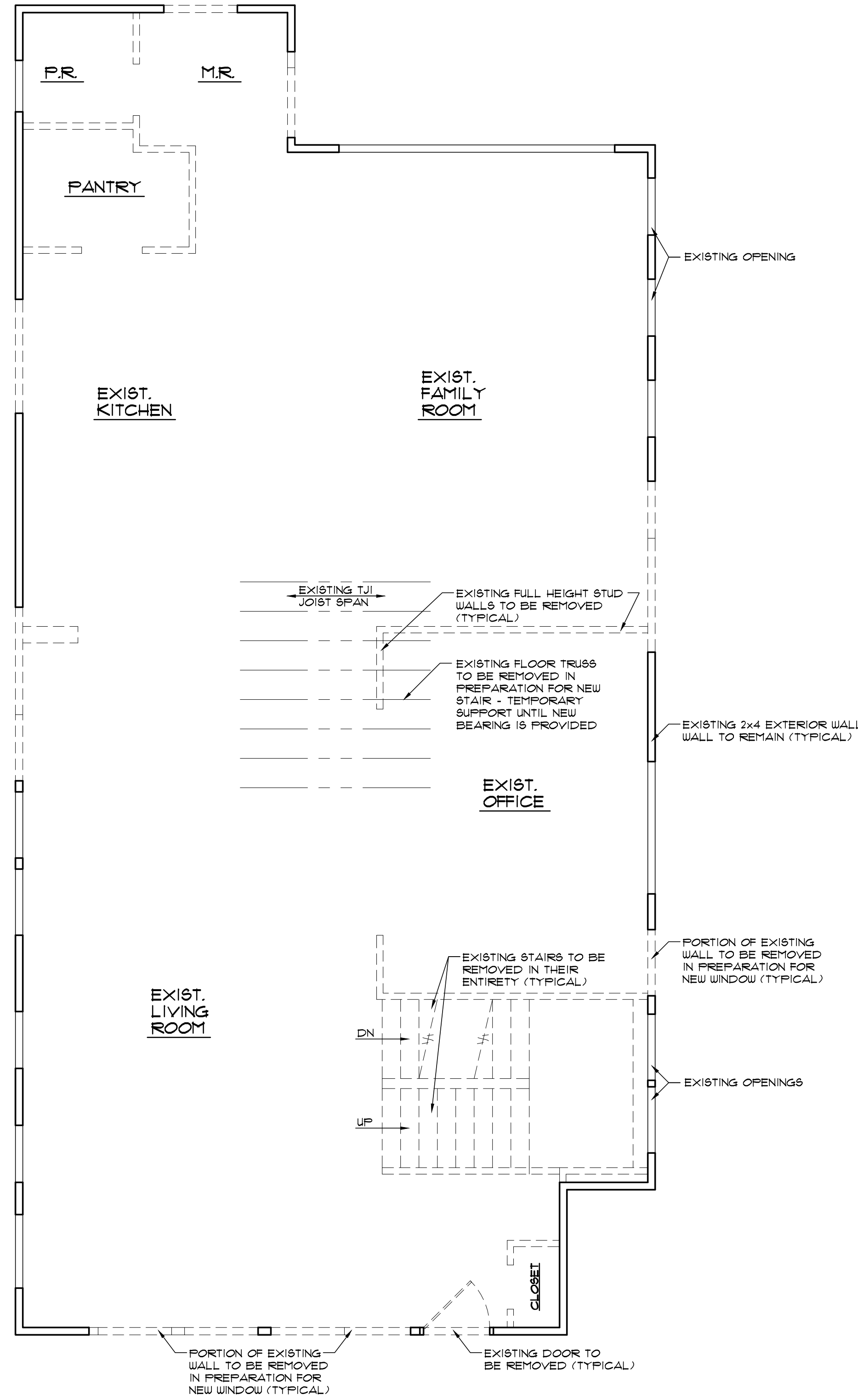
**A-1**  
SHEET NO.

**GENERAL DEMOLITION NOTES**

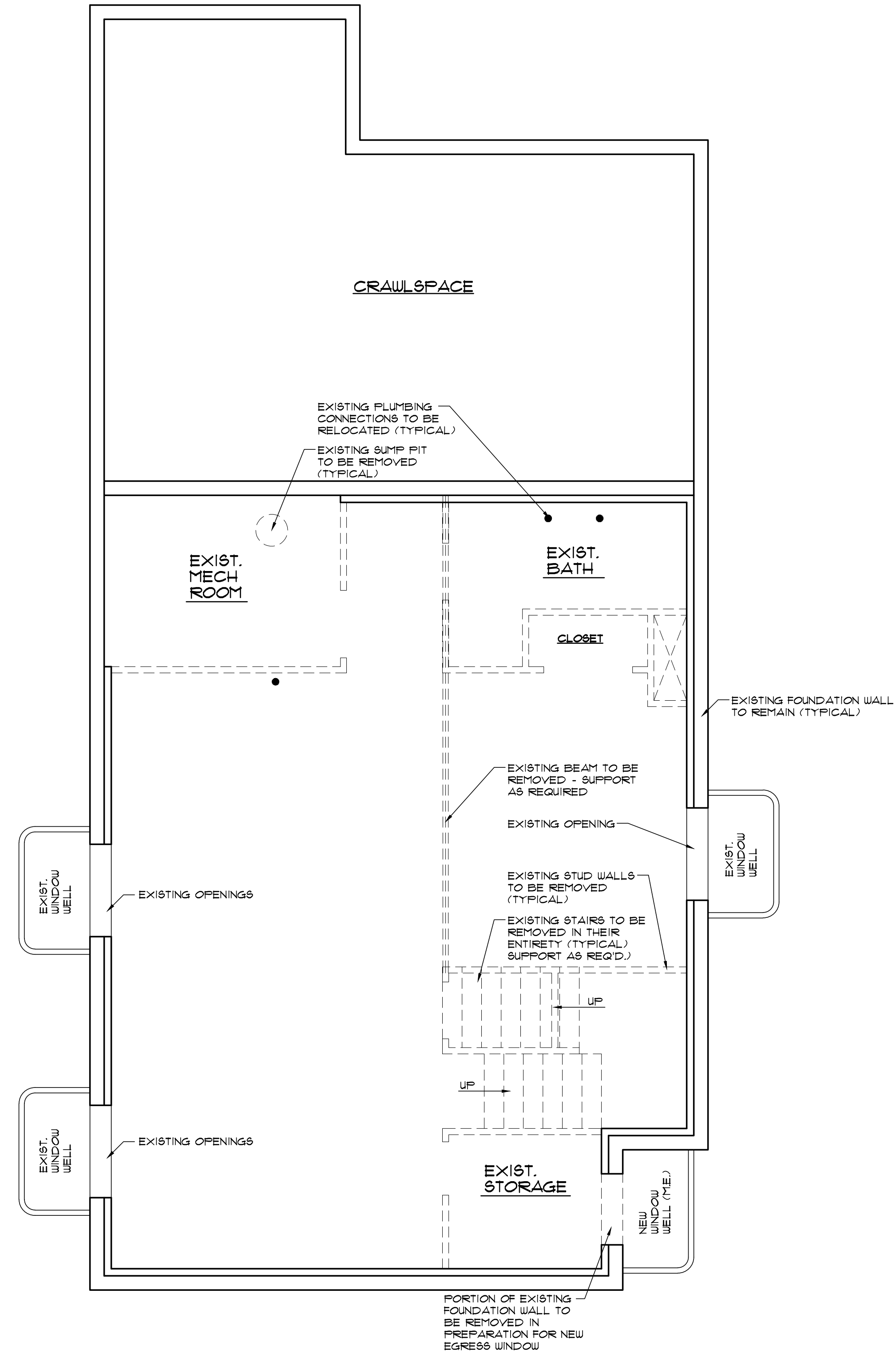
1. ALL CONTRACTORS ARE TO VISIT THE SITE PRIOR TO SUBMITTING FINAL BIDS AND REVIEW EXISTING CONDITIONS AS THEY RELATE TO THE PROPOSED WORK. CONSIDER REMOVAL AND NECESSARY RELOCATION (WHEN NECESSARY) OF ALL VISIBLE STRUCTURAL, ARCHITECTURAL, HVAC, PLUMBING AND ELECTRICAL SYSTEMS IN AREAS OF REMODELING.
2. DIMENSIONS SHOWN HAVE BEEN DERIVED FROM FIELD MEASUREMENTS. THE CONTRACTOR IS TO VERIFY DIMENSIONS AND EXISTING CONDITIONS PRIOR TO BEGINNING WORK AND CONSULT WITH THE ARCHITECT ON ANY CONFLICTS. DO NOT SCALE THE DRAWINGS FOR PRE-ORDER ITEMS WITHOUT CONSULTATION W/ THE ARCHITECT.

**WALL KEY**

-  EXISTING INTERIOR WALL TO REMAIN
-  EXISTING EXTERIOR WALL TO REMAIN
-  EXISTING INTERIOR WALL TO BE REMOVED. (DASHED) PATCH & REPAIR ALL ADJACENT SURFACES TO MATCH & PREPARE TO RECEIVE NEW FINISHES (SUPPORT STRUCTURE ABOVE AS REQ'D.)
-  EXISTING EXTERIOR WALL TO BE REMOVED. (DASHED) PATCH & REPAIR ALL ADJACENT SURFACES TO MATCH & PREPARE TO RECEIVE NEW FINISHES (SUPPORT STRUCTURE ABOVE AS REQ'D.)



**FIRST FLOOR DEMOLITION PLAN**  
 SCALE: 1/4" = 1'-0"  
 1 D-1



**BASEMENT DEMOLITION PLAN**  
 SCALE: 1/4" = 1'-0"  
 1 D-1

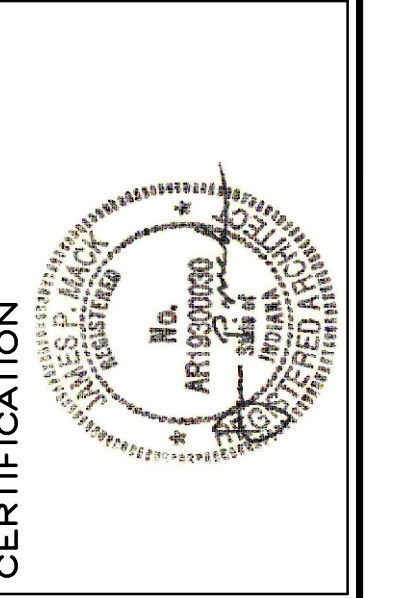
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PROJECT NO:  
 2410

TWO FAMILY TOWNHOUSE SEPARATION OF:  
**2126 DELAWARE STREET**  
 INDIANAPOLIS, INDIANA 46202

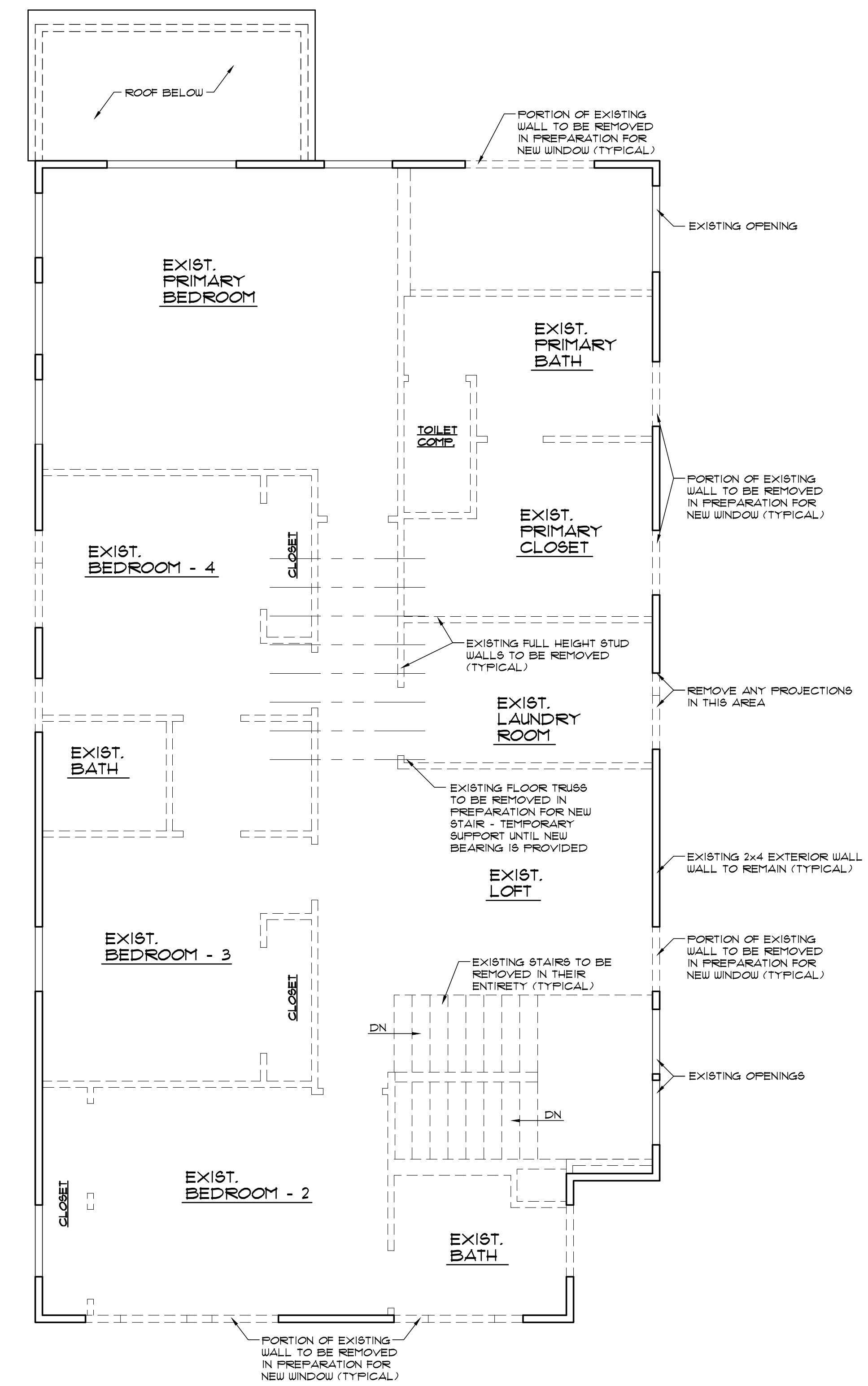
ISSUE DATE:  
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**D-1**  
 SHEET NO.

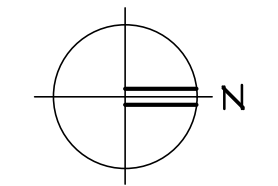
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1  
D-2

SECOND FLOOR  
DEMOLITION PLAN

SCALE: 1/4" = 1'-0"



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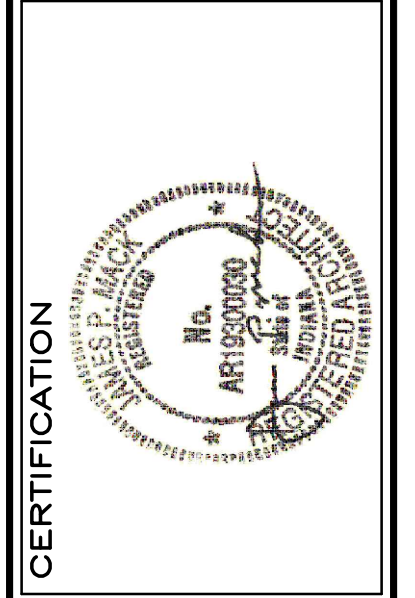
PROJECT NO:  
2410

TWO FAMILY TOWNHOUSE SEPARATION OF:

**2126 DELAWARE STREET**  
 INDIANAPOLIS, INDIANA 46202

ISSUE DATE:  
FEBRUARY 5, 2025

REVISIONS:



**D-2**  
SHEET NO.

**ELECTRICAL NOTES:**

1. WORK SHALL INCLUDE STARTUP OF ALL SYSTEMS, FURNISHING OF OPERATING AND MAINTENANCE INSTRUCTIONS, AND ONE YEAR GUARANTEE, COMMENCING ON DATE OF ACCEPTANCE.
2. FURNISH ALL MATERIAL AND EQUIPMENT AS SPECIFIED, EXCEPT WHERE SPECIFIED APPROVAL FOR SUBSTITUTION IS GIVEN.
3. PROPOSAL SHALL BE BASED ON SPECIFIED MATERIAL AND EQUIPMENT IN ORDER TO PROMOTE COMPETITION. BIDDERS ARE ENCOURAGED TO SUBMIT ALTERNATE PROPOSALS ON ANY ALTERNATE MATERIALS AND/OR EQUIPMENT THEY WISH TO PROPOSE, INCLUDING ANY PRICE CHANGE AFFECTED BY ACCEPTANCE OF ALTERNATES.
4. VERIFY LOCAL CONDITIONS AT SITE.
5. ALL WORK IS TO BE IN ACCORDANCE WITH THE INDIANA RESIDENTIAL ELECTRICAL CODE, LATEST EDITION, AS ADOPTED BY THE STATE AND LOCAL BUILDING DEPTS.
6. SECURE AND PAY FOR ALL REQUIRED PERMITS.
7. ELECTRICAL SYSTEM SHALL BE GROUNDED IN ACCORDANCE WITH THE LATEST REQUIREMENTS OF THE ELECTRICAL CODE. INSULATED GROUNDING WIRE SHALL BE INCLUDED WITH ALL CIRCUITS.
8. ALL WIRES SHALL BE COPPER, MINIMUM SIZE #4 AWG. ALL CONDUCTORS #10 AND SMALLER SHALL HAVE "THIN" TYPE INSULATION. CONDUCTORS LARGER THAN #10 SHALL HAVE "THU" TYPE INSULATION.
9. FURNISH AND INSTALL TYPE WRITTEN PANEL DIRECTORY, IDENTIFY & LABEL ALL ELECTRICAL SERVICE EQUIPMENT.
10. REFER TO MECHANICAL DRAWINGS FOR MOUNTING HEIGHTS AND MOUNTING DETAILS FOR ALL FIXTURES AND EQUIPMENT, WHERE APPLICABLE.
11. ALL HEIGHT DIMENSIONS SHOWN ON PLANS OR INDICATED IN THESE NOTES SHALL BE TO THE CENTER OF THE DEVICE.
12. SUBMIT A COPY OF PRODUCT LITERATURE W/ CONTRACTOR PRICING (WHEN INDICATED AS AN ALLOW. ITEM) FOR EACH MAJOR PIECE OF EQUIPMENT TO THE OWNER FOR REVIEW/APPROVAL TO VERIFY COMPLIANCE WITH DESIGN.

**PLUMBING NOTES:**

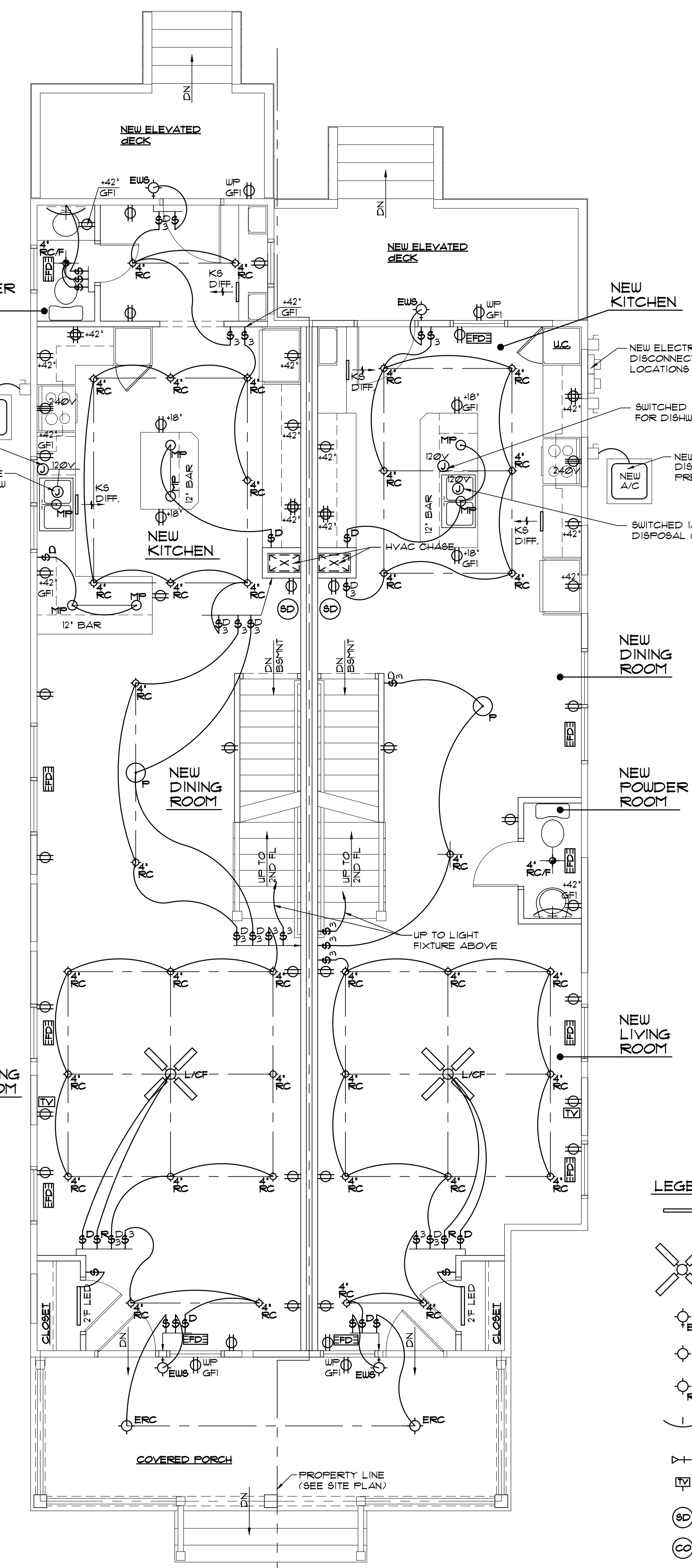
1. ALL WORK IS TO BE IN ACCORDANCE W/ THE INDIANA RESIDENTIAL PLUMBING CODE, LATEST EDITION, AS ADOPTED BY THE STATE & LOCAL BUILDING DEPTS.
2. WORK SHALL INCLUDE STARTUP OF ALL SYSTEMS, FURNISHING OF OPERATING AND MAINTENANCE INSTRUCTIONS, AND ONE YEAR GUARANTEE, COMMENCING ON DATE OF ACCEPTANCE.
3. VERIFY LOCAL CONDITIONS AT SITE.
4. COMPLY WITH ALL APPLICABLE CODES.
5. SECURE AND PAY FOR ALL REQUIRED PERMITS.
6. PROVIDE ALL MATERIALS AND LABOR TO COMPLETE THE WORK AS INDICATED & AS REQUIRED TO COMPLETE THE WORK.
7. ALL SUPPLY/WASTE AND VENT PIPING IS TO BE CONCEALED IN STUD AND JOIST SPACES.
8. ALL NEW SUPPLY PIPING IS TO BE PEX. WASTE AND VENT PIPING IS SCHEDULE 40 P.V.C. INSULATE ALL NEW WATER & SEWER LINES FOR THERMAL LOSS AND WASTE LINES FOR ACOUSTIC NOISE REDUCTION. PROVIDE MANIFOLD ZONING FOR DIFFERENT SEPARATED ROOMS.
9. SUPPLY A CATALOG CUT WITH CONTRACTOR PRICES TO OWNER FOR FIXTURE SELECTION WHEN INDICATED AS BY ALLOWANCE.
10. PROTECT ALL NEW PIPING FROM FREEZING BY LOCATION AND PIPE INSULATION.

**MECHANICAL NOTES:**

1. ALL WORK IS TO BE IN ACCORDANCE W/ THE INDIANA RESIDENTIAL MECHANICAL CODE, LATEST EDITION AS ADOPTED BY THE STATE & LOCAL BUILDING DEPTS. WORK INCLUDES ONE NEW H.E. GAS FURNACE.
2. WORK SHALL INCLUDE STARTUP OF ALL SYSTEMS, FURNISHING OF OPERATING AND MAINTENANCE INSTRUCTIONS, AND ONE YEAR GUARANTEE, COMMENCING ON DATE OF ACCEPTANCE.
3. COMPLY WITH ALL APPLICABLE CODES.
4. SECURE AND PAY FOR ALL REQUIRED PERMITS.
5. PROVIDE ALL MATERIALS AND LABOR TO COMPLETE THE WORK AS INDICATED AND AS REQUIRED TO COMPLETE THE WORK.
6. PROVIDE PROGRAMMABLE THERMOSTATS FOR EACH NEW FURNACE.
7. PROVIDE 4" THICK PLEATED FILTERS FOR NEW H.E. GAS FURNACES.
8. PROVIDE A COPY OF ALL PRODUCT LITERATURE TO THE OWNER TO VERIFY COMPLIANCE WITH THE DESIGN.
9. INSULATE OR USE FLEX DUCT OR DUCTBOARD IN ATTICS & AREAS SUBJECT TO UNTEMPERED CONDITIONS.

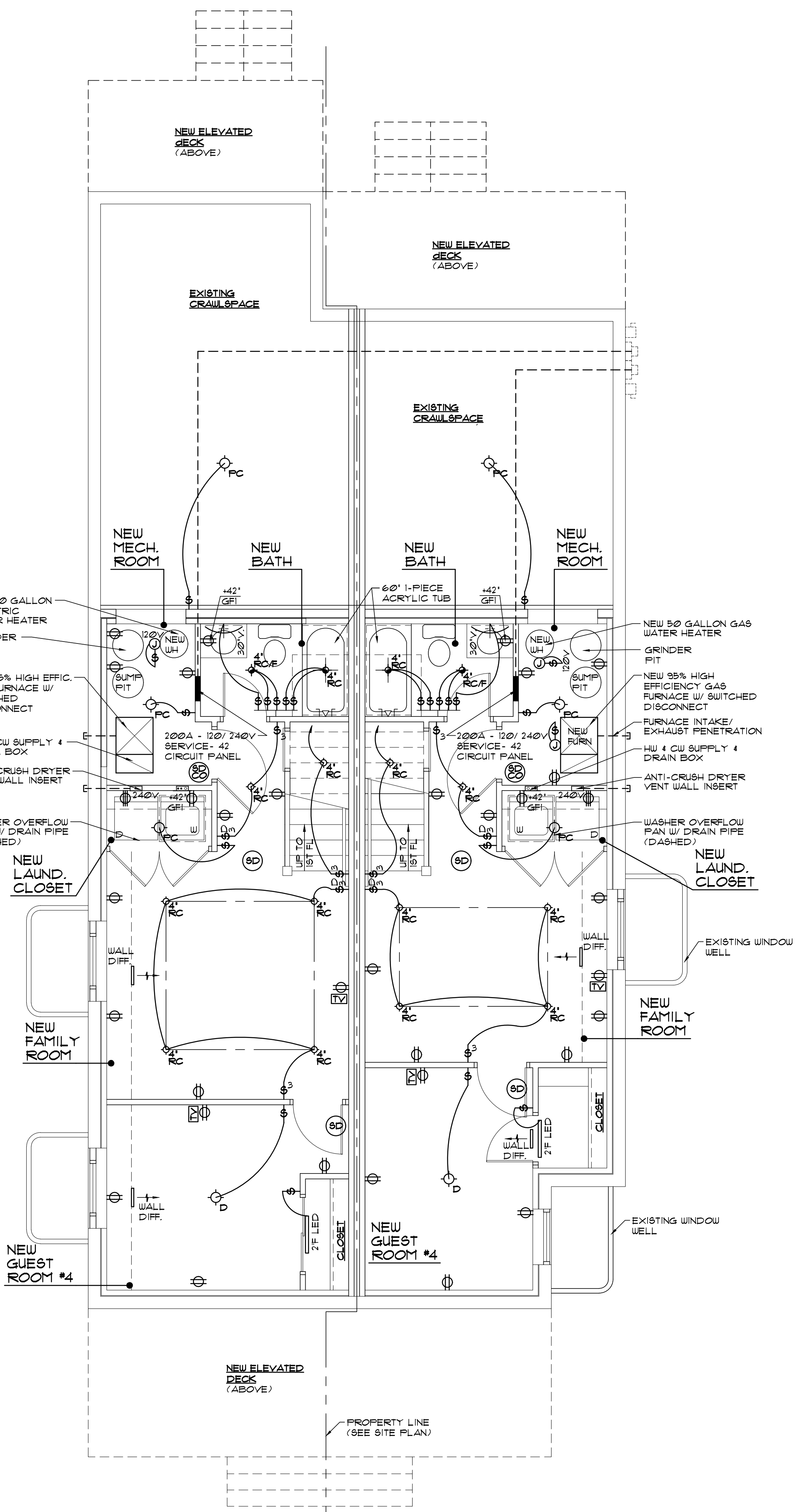
**LEGEND**

	LENSED LED TUBE LIGHT FIXTURE (LENGTH AS NOTED)		COMBINATION 1BSV SMOKE DETECTOR & CARBON MONOXIDE DETECTOR HARDWIRED & INTERCONNECTED
	LIGHT/CEILING FAN		NEW CEILING DIFFUSER
	DECORATIVE EXTERIOR WALL MOUNT FIXTURE		NEW FLOOR DIFFUSER
	4" RECESSED CAN/FAN COMBO (DUCTED)		NEW KICKSPACE DIFFUSER
	RECESSED SOFFIT CAN LIGHT FIXTURE		TELEPHONE/DATA (15' AFF. UNLESS OTHERWISE NOTED) (BY E.C.)
	DECORATIVE INCANDESCENT WALL SCONCE		MOTOR SWITCH WITH RHEOSTAT (M.E.)
	FROST PROOF HOSE BIBB		SWITCH WITH DIMMER (M.E.)
	TV OUTLET & DEDICATED COAX CABLE TO INCOMING CABLE POINT & SPLICE BOX (15' AFF. UNLESS OTHERWISE NOTED) (BY E.C.)		THREE WAY SWITCH (M.E.)
	1BSV SMOKE DETECTOR HARDWIRED & INTERCONNECTED		STANDARD SWITCH (M.E.)
	1BSV CARBON MONOXIDE DETECTOR HARDWIRED & INTERCONNECTED		DUPLEX RECEPTACLE - 15' TYPICAL AFF. UNLESS OTHERWISE NOTED
	SURFACE MOUNTED DRUM FIXTURE		WEATHER PROOF / GROUND FAULT INTERRUPTER OUTLET
	SWITCHED PORCELAIN UTILITY FIXTURE W/ 60 WATT LED LAMP		GROUND FAULT RECEPTACLE
			JUNCTION BOX (VOLTAGE AS NOTED)
			DISCONNECT (AMPERAGE AS NOTED)



**FIRST FLOOR MECHANICAL, ELECTRICAL & PLUMBING PLAN**

SCALE: 1/4" = 1'-0"



**BASEMENT MECHANICAL, ELECTRICAL & PLUMBING PLAN**

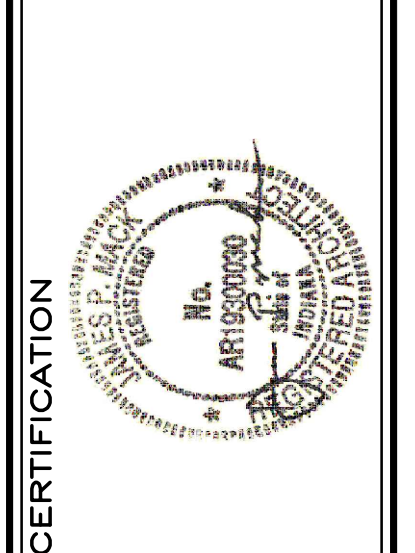
SCALE: 1/4" = 1'-0"

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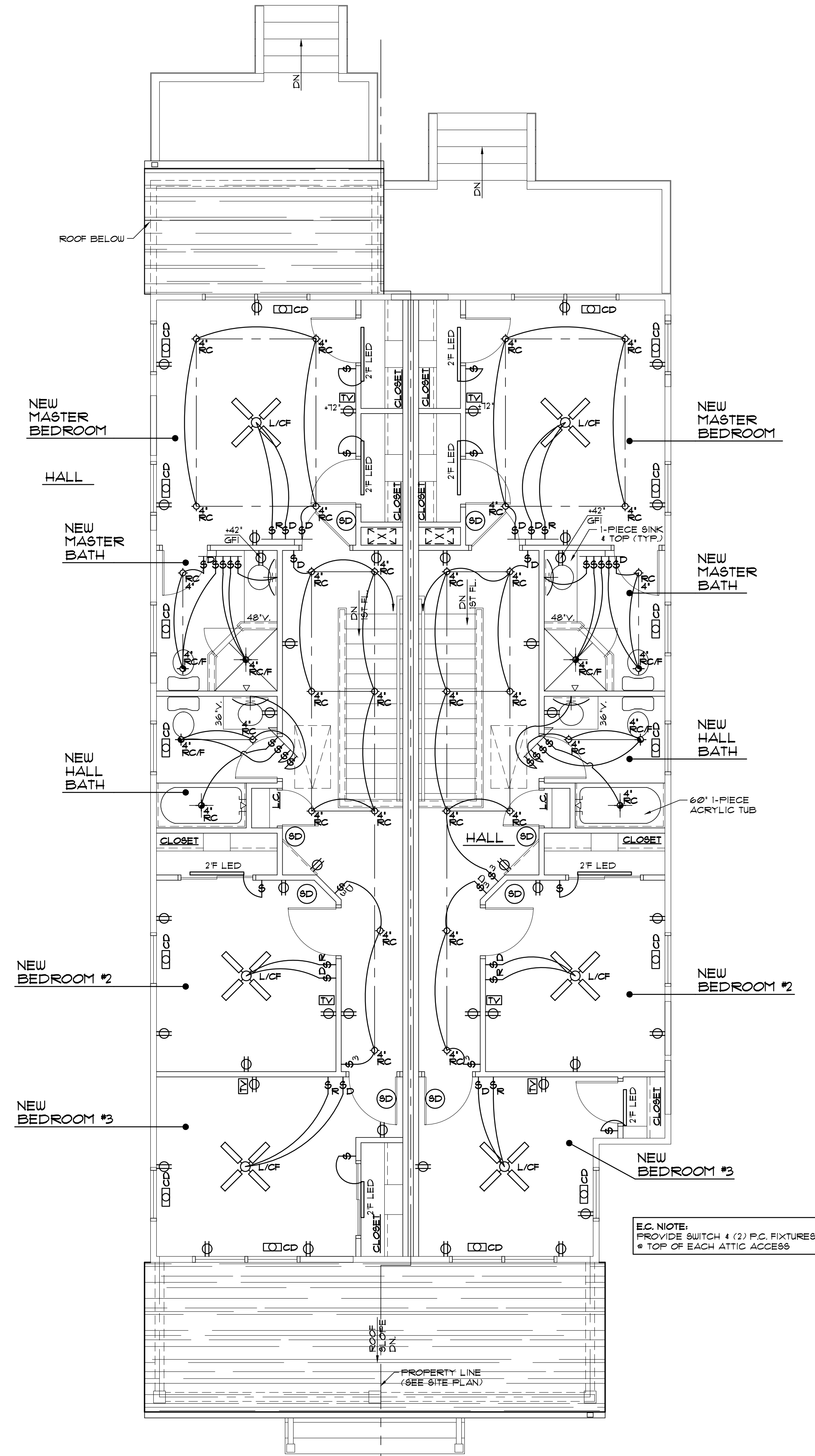
PROJECT NO:  
2110

TWO FAMILY TOWNHOUSE SEPARATION OF:  
**2126 DELAWARE STREET**  
 INDIANAPOLIS, INDIANA 46202

ISSUE DATE:  
FEBRUARY 5, 2025  
 REVISIONS:



**MEPI**  
 SHEET NO.



E.C. NOTE:  
 PROVIDE SWITCH & (2) P.C. FIXTURES  
 @ TOP OF EACH ATTIC ACCESS

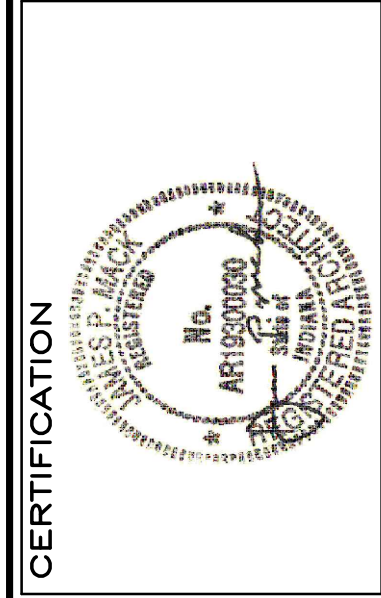
SECOND FLOOR MECHANICAL, ELECTRICAL  
 & PLUMBING PLAN  
 SCALE: 1/4" = 1'-0"

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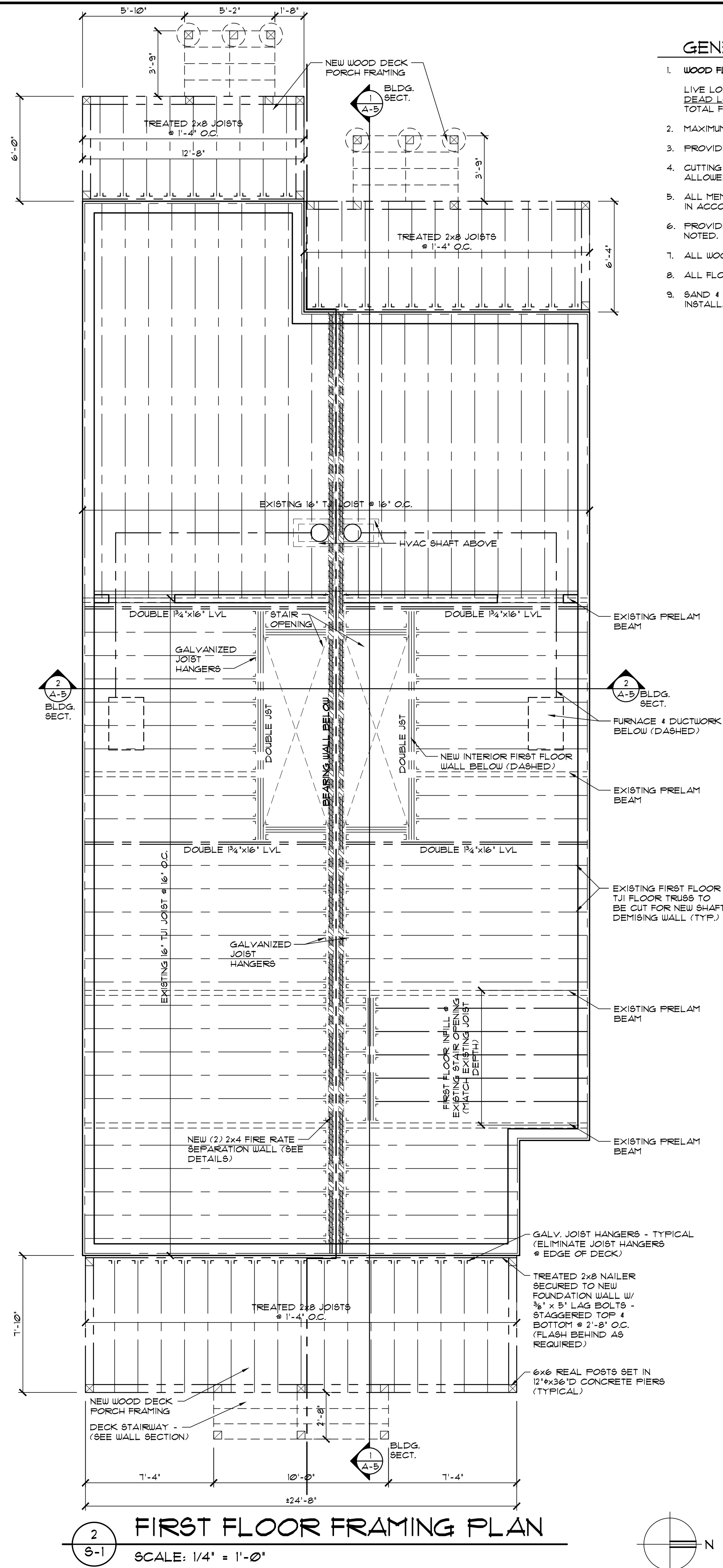
PROJECT NO:  
 2410

TWO FAMILY TOWNHOUSE SEPARATION OF:  
**2126 DELAWARE STREET**  
 INDIANAPOLIS, INDIANA 46202

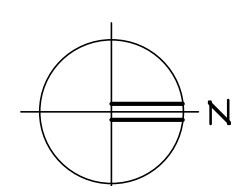
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CERTIFICATION  
**MEP2**  
 SHEET NO.

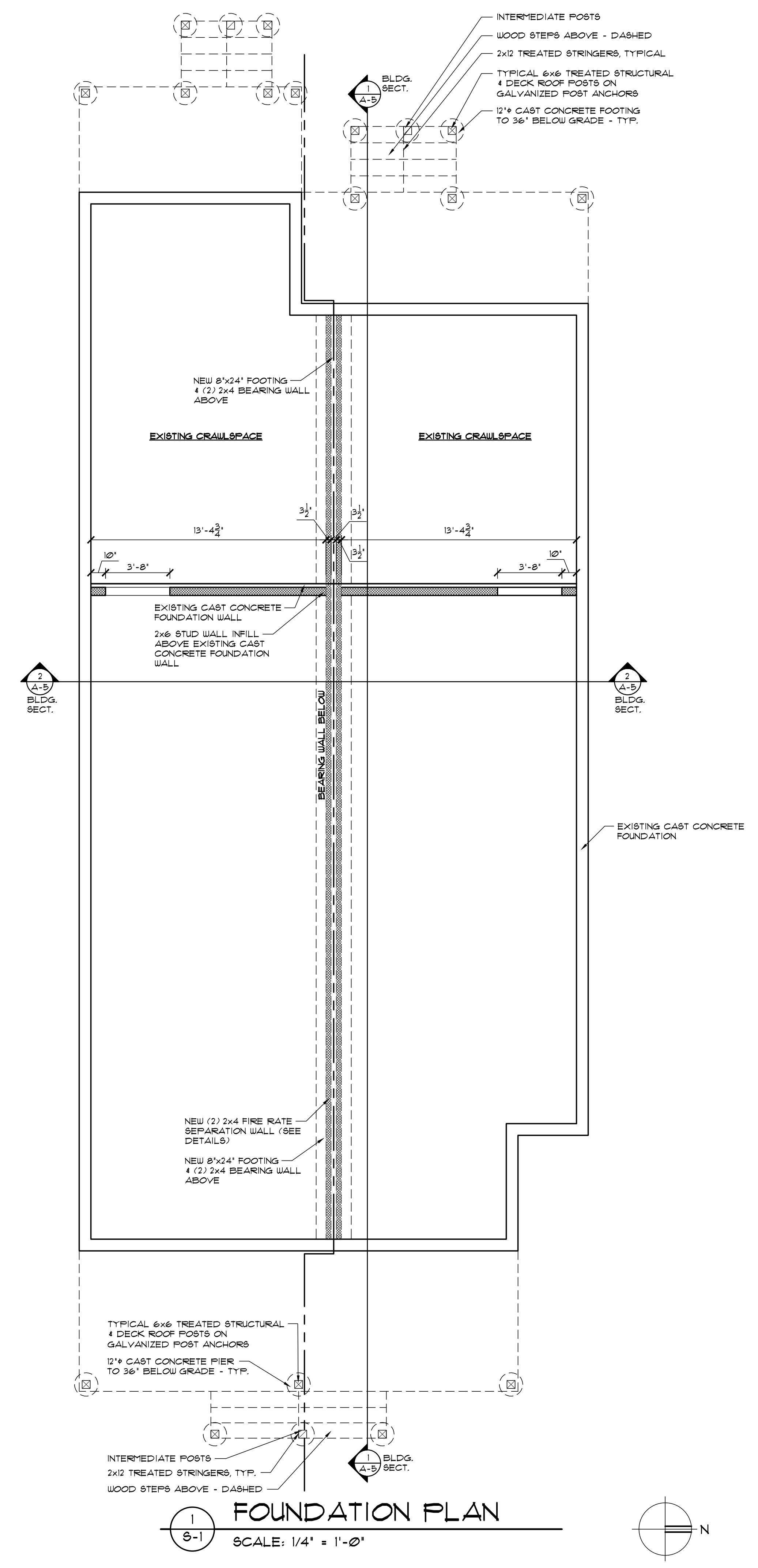


2  
S-1  
**FIRST FLOOR FRAMING PLAN**  
SCALE: 1/4" = 1'-0"

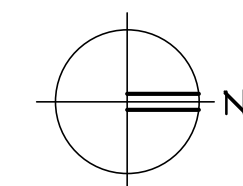


**GENERAL WOOD FRAMING NOTES:**

- WOOD FLOOR JOIST LOADING CRITERIA:  
LIVE LOAD 40 PSF  
DEAD LOAD 20 PSF  
TOTAL FLOOR LOAD 60 PSF
- MAXIMUM DEFLECTION IS LIMITED TO L/360.
- PROVIDE BRACING @ CENTER SPANS AS SHOWN
- CUTTING AND NOTCHING OF STRUCTURAL WOOD MEMBERS SHALL BE ALLOWED ONLY AS ALLOWED IN THE INDIANA RESIDENTIAL CODE.
- ALL MEMBERS CARRYING CONCENTRATED LOADS SHALL BE DESIGNED IN ACCORDANCE WITH THE INDIANA RESIDENTIAL CODE.
- PROVIDE UPLIFT CONNECTORS FOR JOISTS & RAFTERS NOT OTHERWISE NOTED.
- ALL WOOD IN CONTACT W/ CONCRETE SHALL BE TREATED.
- ALL FLOOR DECKING IS TO BE 3/4" OSB OR PLYWOOD - GLUED & SCREWED
- SAND & SEAL ALL FLOOR DECK AS NEEDED PRIOR TO NEW FINISH FLOOR INSTALLATION ABOVE FLOOR DECK



1  
S-1  
**FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"



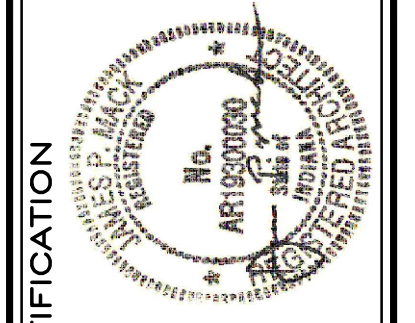
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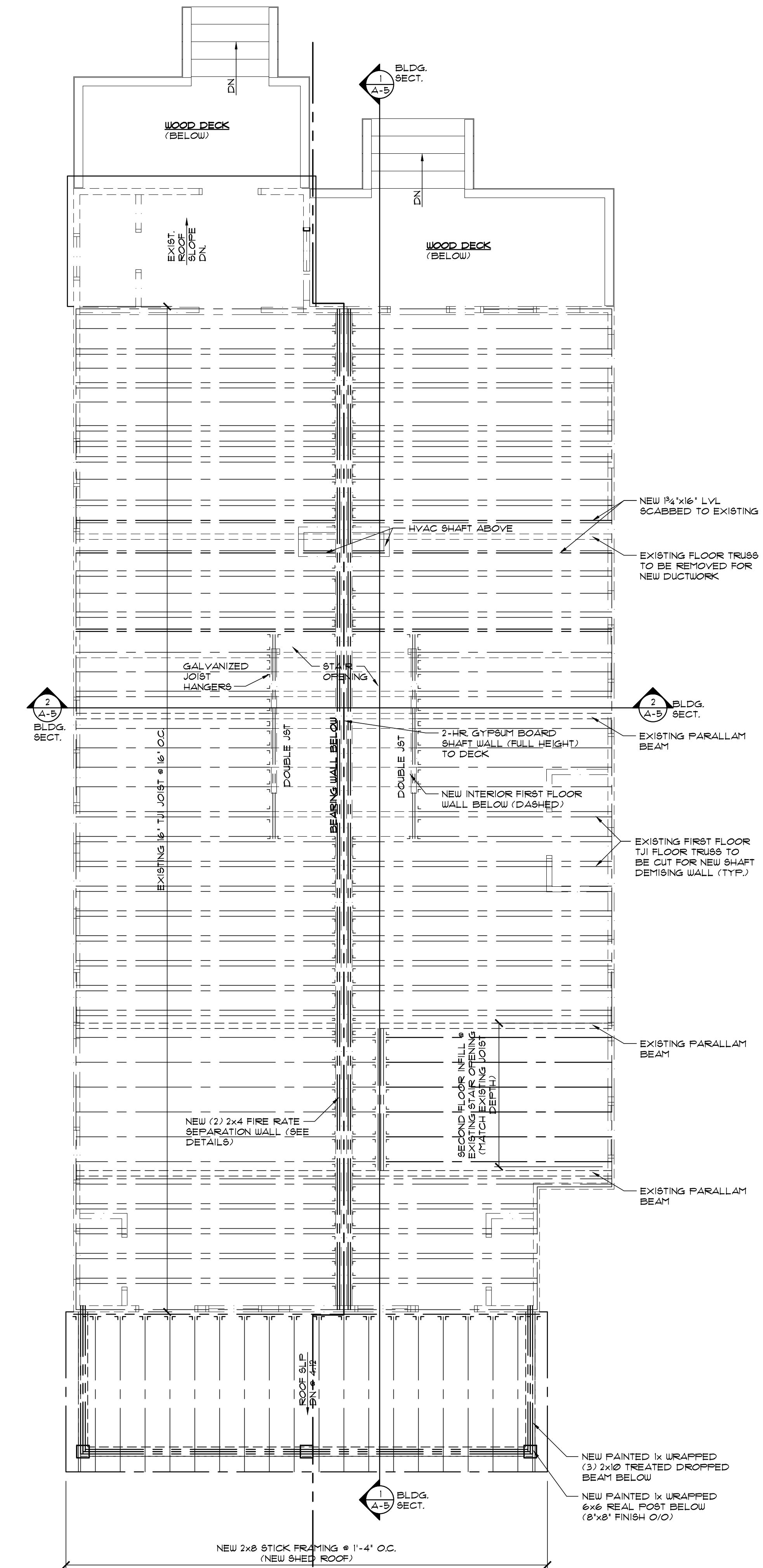
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**2126 DELAWARE STREET**  
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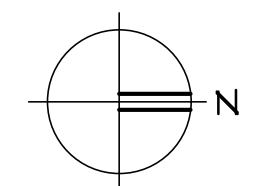
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CERTIFICATION  
**S-1**  
SHEET NO.



**2**  
S-2  
**SECOND FLOOR FRAMING PLAN**  
SCALE: 1/4" = 1'-0"

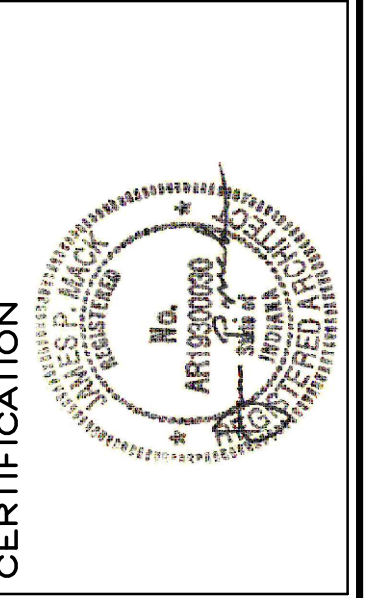


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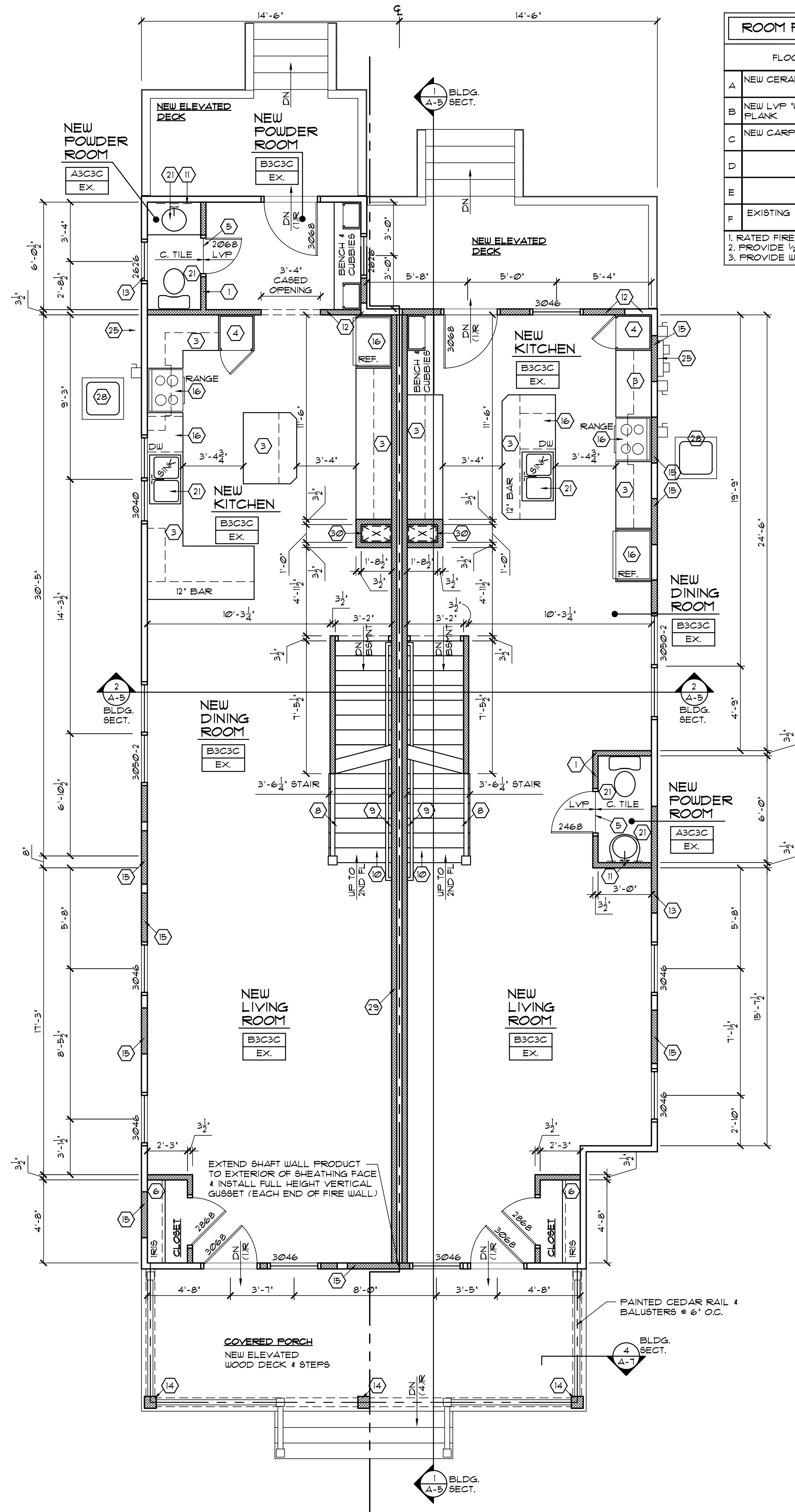
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**CERTIFICATION**  
**S-2**  
SHEET NO.

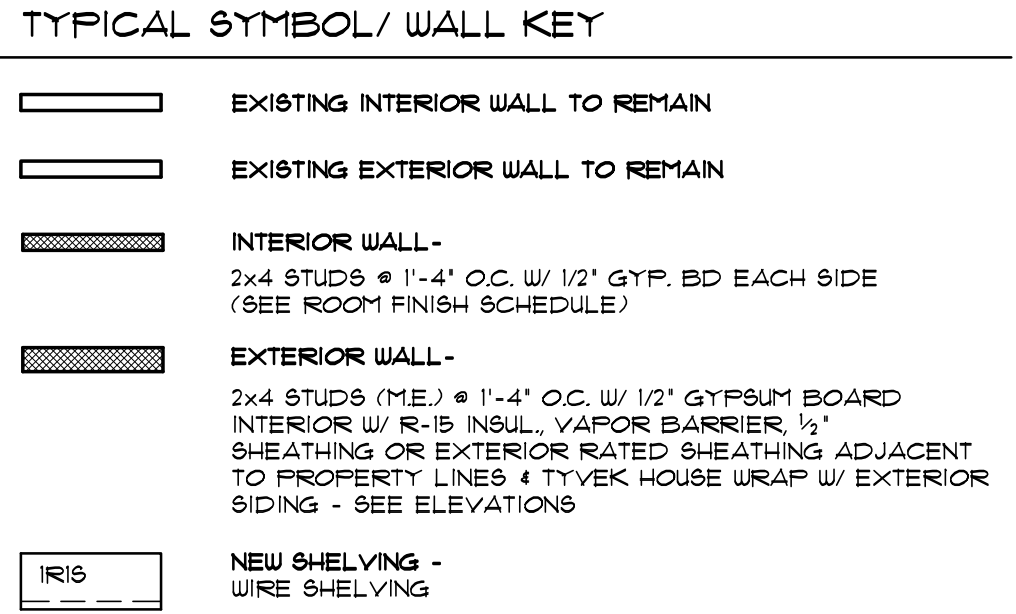






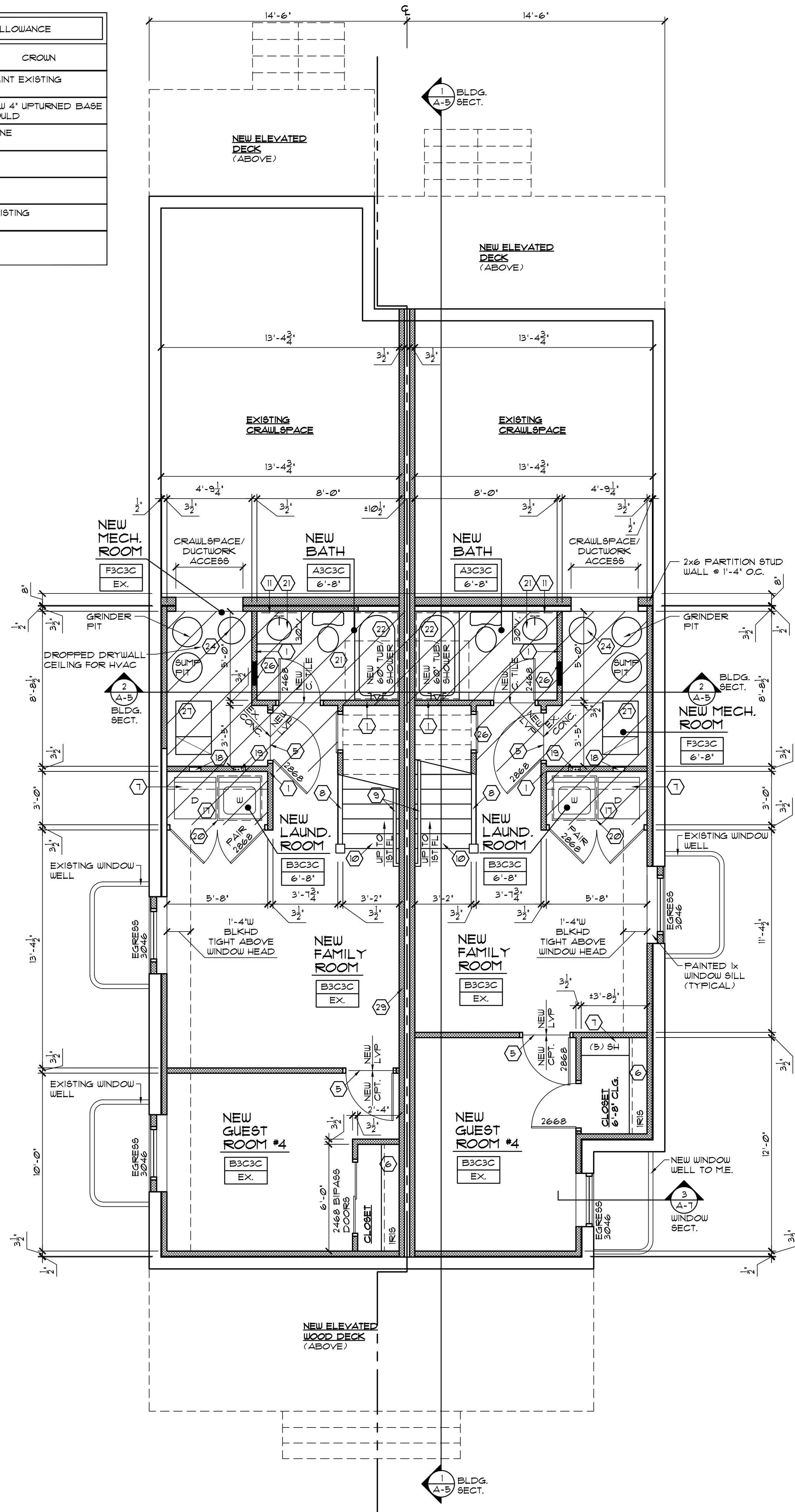
ROOM FINISH SCHEDULE						* ITEM BY ALLOWANCE	
FLOOR	BASE	WALLS	CEILING	CROWN			
A	NEW CERAMIC TILE*	1 PAINT EXISTING	A PAINT EXISTING	1 PAINT EXISTING	A PAINT EXISTING		
B	NEW LVP 'WOOD' LOOK PLANK	2 PAINT NEW & EXISTING BASE TO MATCH	B PAINT NEW & EXISTING GYPSUM BOARD	2 PAINT NEW & EXISTING GYPSUM BOARD	B NEW 4" UPURNED BASE MOULD		
C	NEW CARPET & PAD	3 PAINT NEW 4" WOOD BASE	C PAINT NEW 1/2" GYPSUM BOARD	3 PAINT NEW 1/2" GYPSUM BOARD	C NONE		
D		4	D	4 PAINTED 3/8" BEAD BD. FLYWOOD SOFFIT	D		
E		5	E	5	E		
F	EXISTING	6 EXISTING	F EXISTING	6 EXISTING	F EXISTING		

1. RATED FIRE WALLS & CEILINGS WILL REQUIRE 5/8" TYPE "X" GYPSUM BOARD-TYP. \* (1) LAYER EACH SIDE  
 2. PROVIDE 1/2" CEMENT BOARD BELOW TILE ON WALL SURFACES TO RECEIVE TILE.  
 3. PROVIDE WATER RESISTANT GYPSUM BOARD ON ALL AREAS SUBJECT TO MOISTURE.



- TYPICAL FLOOR PLAN KEY NOTES:**
- 1 PROVIDE 3-1/2" SOUND BATT INSULATION IN DEMISING WALL SYSTEM
  - 2 24"x42" INSULATED FULL DOWN ATTIC ACCESS LADDER ABOVE (DASHED)
  - 3 NEW BASE & OVERHEAD CABINETS W/ COUNTERTOPS (COUNTERTOPS TO BE SOLID SURFACE GRANITE, OR PLASTIC LAMINATE) (VERIFY W/ OWNER)
  - 4 NEW FULL HEIGHT UTILITY CABINET
  - 5 FLOOR TRANSITION STRIP
  - 6 CLOSET FURNISHINGS BY CONTRACTOR
  - 7 NEW 3/4" CAPPED HALF WALL W/ PAINTED GYPSUM BOARD & 3-PIECE STAINED CAP
  - 8 NEW 1'-0" CAPPED HALF WALL W/ PAINTED GYPSUM BOARD & 3-PIECE STAINED CAP (PRIMARY BATH SHOWER)
  - 9 2 1/4" PAINTED POPLAR HANDRAIL ON STEEL BRACKETS RETURN ENDS (TYPICAL)
  - 10 CARPETED 5/4" PARTICLE BD. TREADS, PTD. X RIGERS, & PAINTED 1x2 SKIRT BOARD
  - 11 NEW MIRROR
  - 12 ALIGN NEW AND EXISTING WALLS
  - 13 NEW WINDOW IN EXISTING ROUGH OPENING
  - 14 NEW REAL WOOD STRUCTURAL POST W/ PAINTED WOOD CAP POST ON GALVANIZED SADDLE (TYPICAL)
  - 15 EXISTING OPENING TO BE INFILLED TO MATCH ADJ. FINISHES
  - 16 NEW APPLIANCES
  - 17 WASHER & DRYER
  - 18 NEW DRYER EXHAUST TO OUTSIDE WALL
  - 19 NEW H/C WATER & DRAIN BOX FOR WASHER & DRYER
  - 20 PVC WASHING MACHINE OVERFLOW PAN PIPED TO DRAIN (BY F.C.)
  - 21 NEW PLUMBING FIXTURES
  - 22 ACRYLIC TUB & SURROUND
  - 23 ACRYLIC SHOWER & GLAZING (DREAMLINE-SLIMLINE Model: DLT-2042420 OR EQUIVALENT)
  - 24 NEW 80 GALLON GAS WATER HEATER
  - 25 NEW ELECTRIC METER W/ NEW U.G. SERVICE
  - 26 NEW 200A ELECTRICAL PANEL
  - 27 NEW 95% HIGH EFFICIENCY GAS FURNACE & CONDENSING UNIT (SEE MEP PLAN)
  - 28 NEW A/C UNIT W/ DISCONNECT & PAD
  - 29 2-HR FULL HEIGHT USG FIRE WALL ASSEMBLY
  - 30 HVAC DUCTWORK CHASE - VERIFY SIZE W/ MECHANICAL CONTRACTOR (SECOND FLOOR CHASE TO ATTIC)
  - 31 NEW CEILING JOIST INFILL IN THIS AREA

- GENERAL NOTES:**
1. INSULATE ALL OPEN EXTERIOR WALLS W/ R-15 FACED BATT INSULATION
  2. ALL NEW INTERIOR DOORS ARE TO BE SOLID CORE, SMOOTH PANEL DOORS

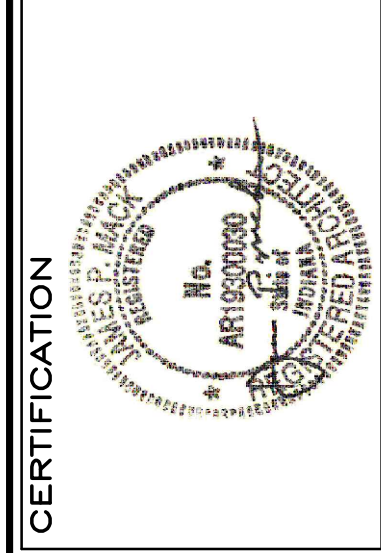


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PROJECT NO:  
2410

TWO FAMILY TOWNHOUSE SEPARATION OF:  
**2126 DELAWARE STREET**  
 INDIANAPOLIS, INDIANA 46202

ISSUE DATE:  
FEBRUARY 5, 2025  
 REVISIONS:



CERTIFICATION  
**A-1**  
 SHEET NO.

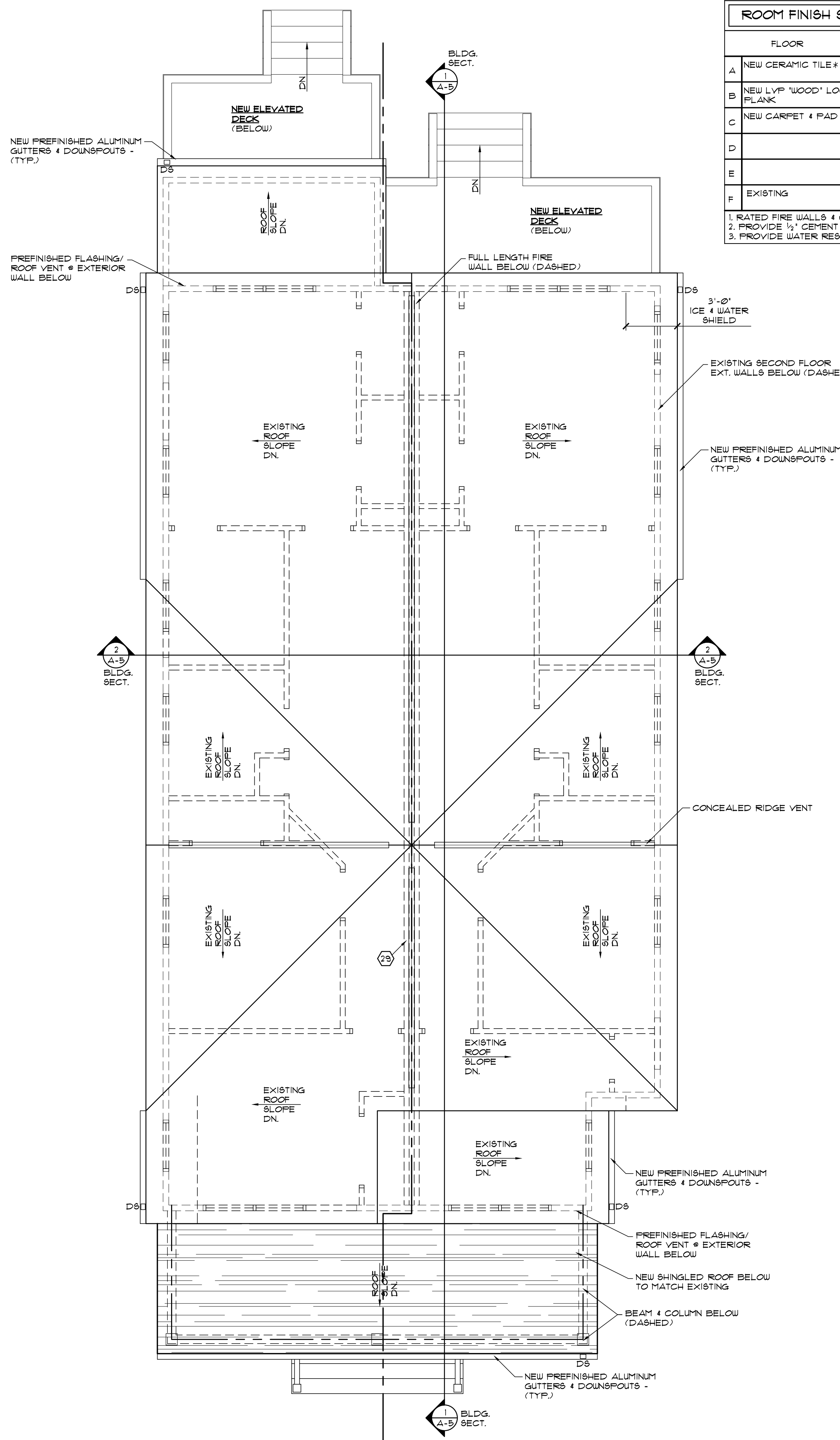
ROOM FINISH SCHEDULE					* ITEM BY ALLOWANCE				
FLOOR	BASE	WALLS	CEILING	CROWN	FLOOR	BASE	WALLS	CEILING	CROWN
A	NEW CERAMIC TILE*	1 PAINT EXISTING	A PAINT EXISTING	1 PAINT EXISTING	A	PAINT EXISTING			
B	NEW LVP 'WOOD' LOOK PLANK	2 PAINT NEW & EXISTING BASE TO MATCH	B PAINT NEW & EXISTING GYPSUM BOARD	2 PAINT NEW & EXISTING GYPSUM BOARD	B	NEW 4" UPTURNED BASE MOULD			
C	NEW CARPET & PAD	3 PAINT NEW 4" WOOD BASE	C PAINT NEW 1/2" GYPSUM BOARD	3 PAINT NEW 1/2" GYPSUM BOARD	C	NONE			
D		4	D	4 PAINTED 3/8" BEAD BD. FLYWOOD SOFFIT	D				
E		5	E	5	E				
F	EXISTING	6 EXISTING	F EXISTING	6 EXISTING	F	EXISTING			

1. RATED FIRE WALLS & CEILINGS WILL REQUIRE 5/8" TYPE "X" GYPSUM BOARD-TYP. \* (1) LAYER EACH SIDE  
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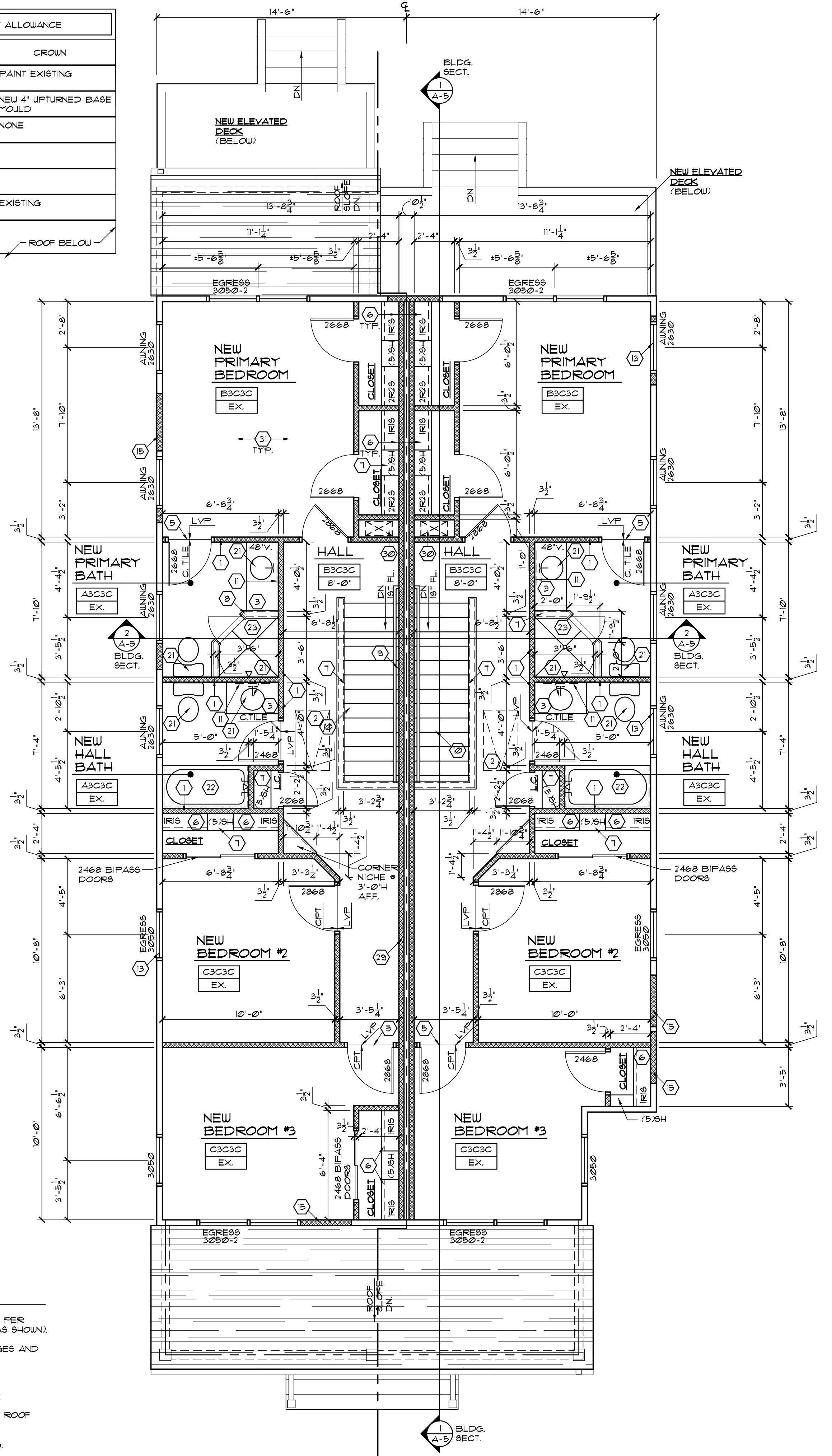
- TYPICAL SYMBOL/ WALL KEY**
- EXISTING INTERIOR WALL TO REMAIN
  - EXISTING EXTERIOR WALL TO REMAIN
  - INTERIOR WALL - 2x4 STUDS @ 1'-4" O.C. W/ 1/2" GYP. BD EACH SIDE (SEE ROOM FINISH SCHEDULE)
  - EXTERIOR WALL - 2x4 STUDS (M.E.) @ 1'-4" O.C. W/ 1/2" GYPSUM BOARD INTERIOR W/ R-15 INSUL. VAPOR BARRIER, 1/2" SHEATHING OR EXTERIOR RATED SHEATHING ADJACENT TO PROPERTY LINES & TYVEK-HOUSE WRAP W/ EXTERIOR SIDING - SEE ELEVATIONS
  - NEW SHELVING - WIRE SHELVING

- TYPICAL FLOOR PLAN KEY NOTES:**
- 1 PROVIDE 3-1/2" SOUND BATT INSULATION IN DEMISING WALL SYSTEM
  - 2 24"x42" INSULATED FULL DOWN ATTIC ACCESS LADDER ABOVE (DASHED)
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  - 24 NEW 50 GALLON GAS WATER HEATER
  - 25 NEW ELECTRIC METER W/ NEW U.G. SERVICE
  - 26 NEW 200A ELECTRICAL PANEL
  - 27 NEW 95% HIGH EFFICIENCY GAS FURNACE & CONDENSING UNIT (SEE MEP PLAN)
  - 28 NEW A/C UNIT W/ DISCONNECT & PAD
  - 29 2-HR FULL HEIGHT USG FIRE WALL ASSEMBLY
  - 30 HVAC DUCTWORK CHASE - VERIFY SIZE W/ MECHANICAL CONTRACTOR (SECOND FLOOR CHASE TO ATTIC)
  - 31 NEW CEILING JOIST INFILL IN THIS AREA

- GENERAL ROOF NOTES:**
1. SHINGLES ARE TO BE 30 FIBERGLASS SHINGLES (BY G.C. ALLOWANCE) INSTALL PER MANUFACTURERS INSTRUCTIONS OVER RAPTOR FELT OR ICE & WATER SHIELD (AS SHOWN).
  2. PROVIDE 3'-0" PERIMETER OF ICE & WATER SHIELD AT ALL BOTTOM DECK EDGES AND VALLEYS.
  3. PROVIDE A METAL DRIP EDGE AT ALL ROOF EDGES. (PRE-FINISHED)
  4. PROVIDE 6" PREFINISHED SEAMLESS GUTTERS & 3"x4" D.S. AS SHOWN. 'K' STYLE
  5. PROVIDE CONCEALED FLASHING TO EXTEND WALL UP 6" MIN. AND 6" MIN. ONTO ROOF DECK
  6. PROVIDE CONCEALED (ROOF OVER) CONTINUOUS ROOF VENTS AT ROOF PEAKS. (WHERE SHOWN)
  7. PROVIDE 8 FLASHBLOCKS @ EACH DOWNSPOUT.
  8. PROVIDE VENTILATED PREFINISHED ALUMINUM STEP FLASHING @ ALL ROOF/WALL JUNCTIONS.



**2**  
A-2  
**ROOF PLAN**  
SCALE: 1/4" = 1'-0"



**1**  
A-2  
**SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

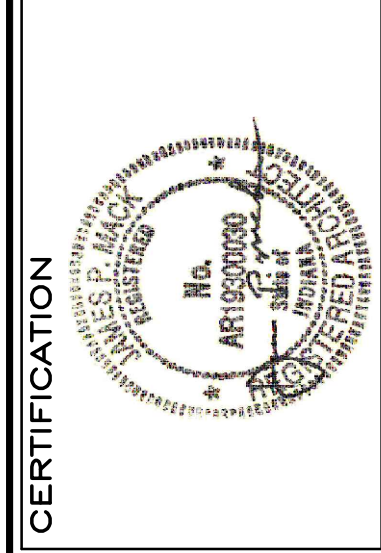
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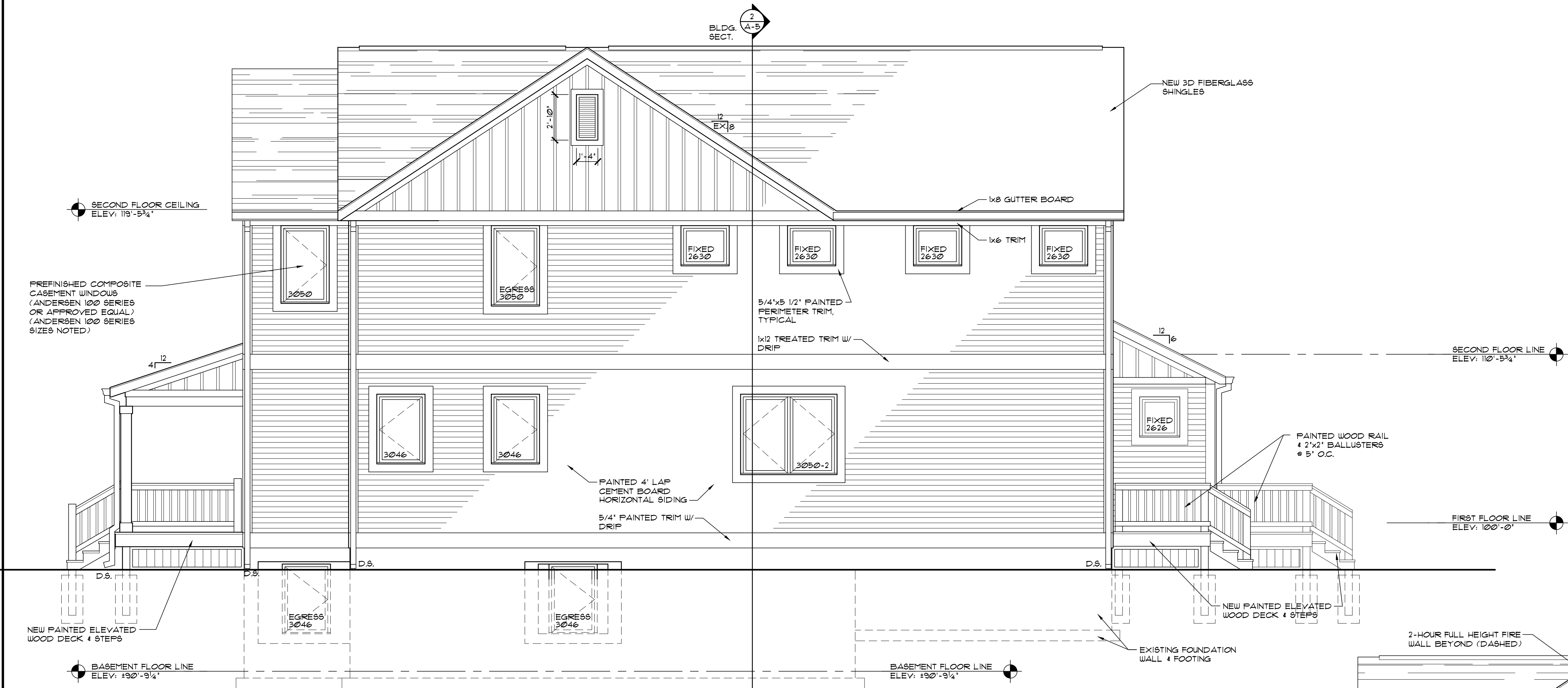
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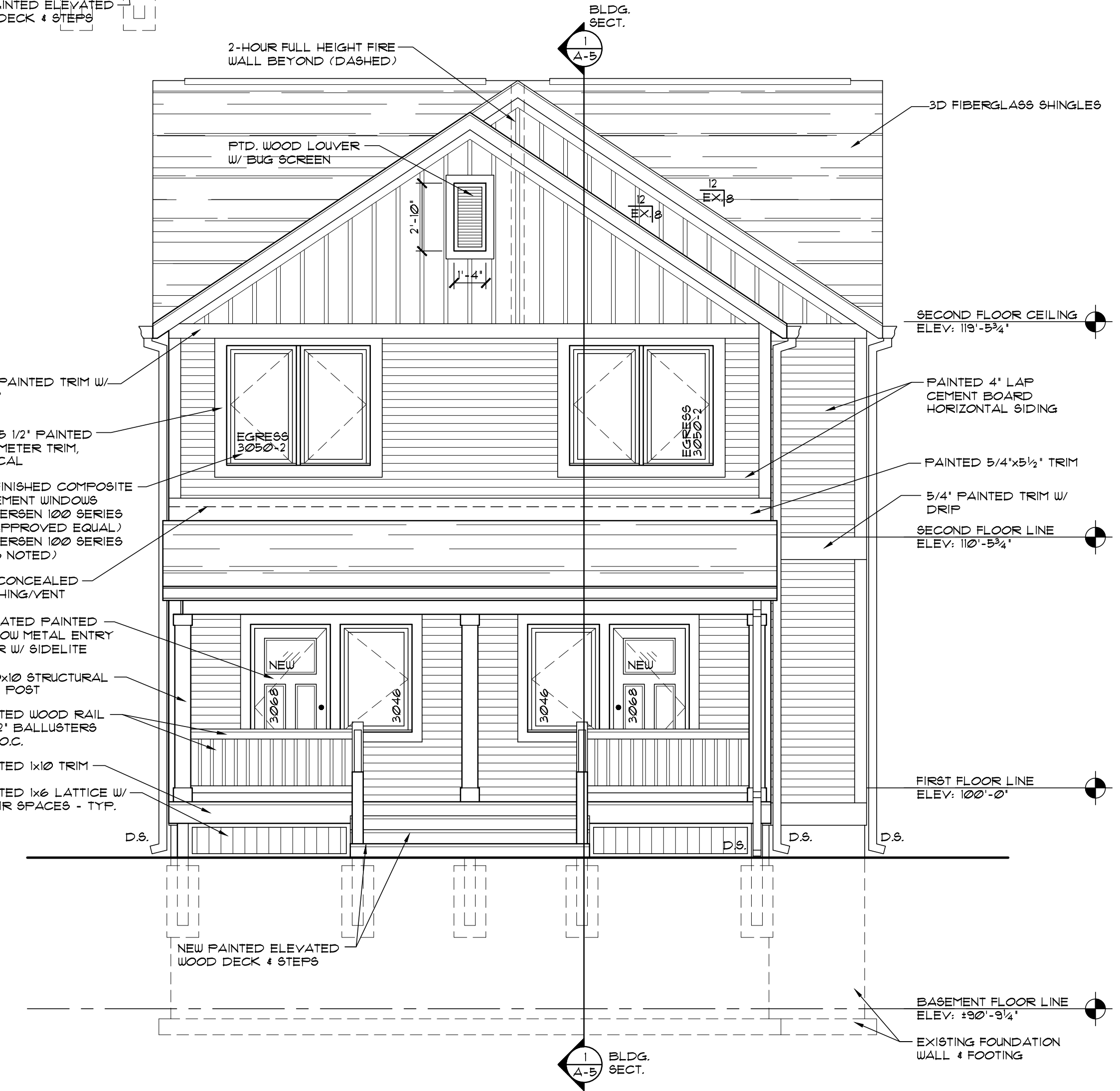
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**A-2**  
SHEET NO.



2 NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



1 EAST ELEVATION  
SCALE: 1/4" = 1'-0"

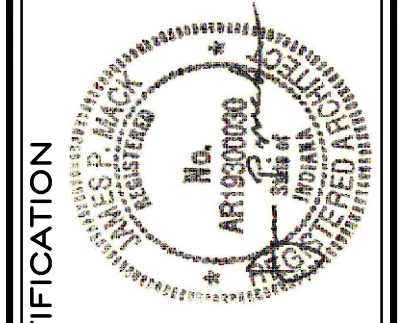
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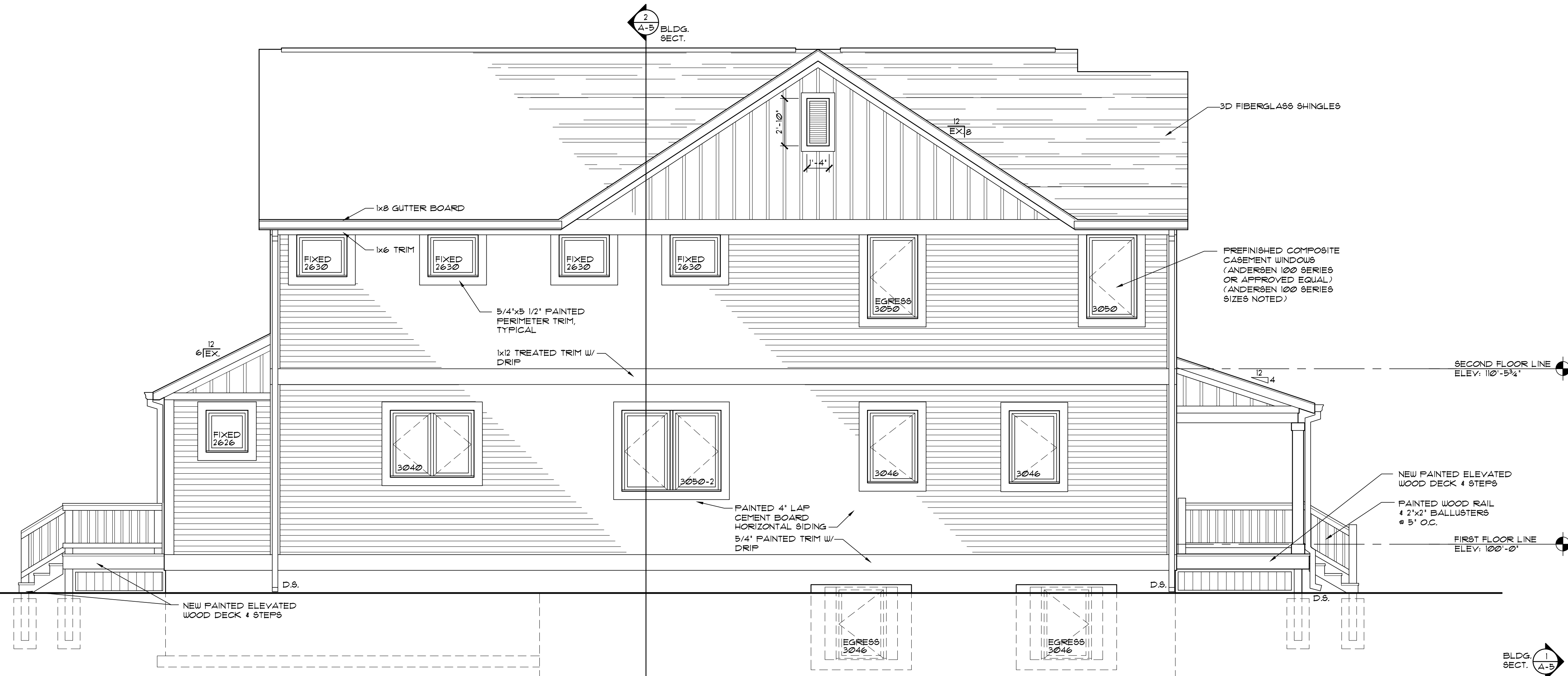
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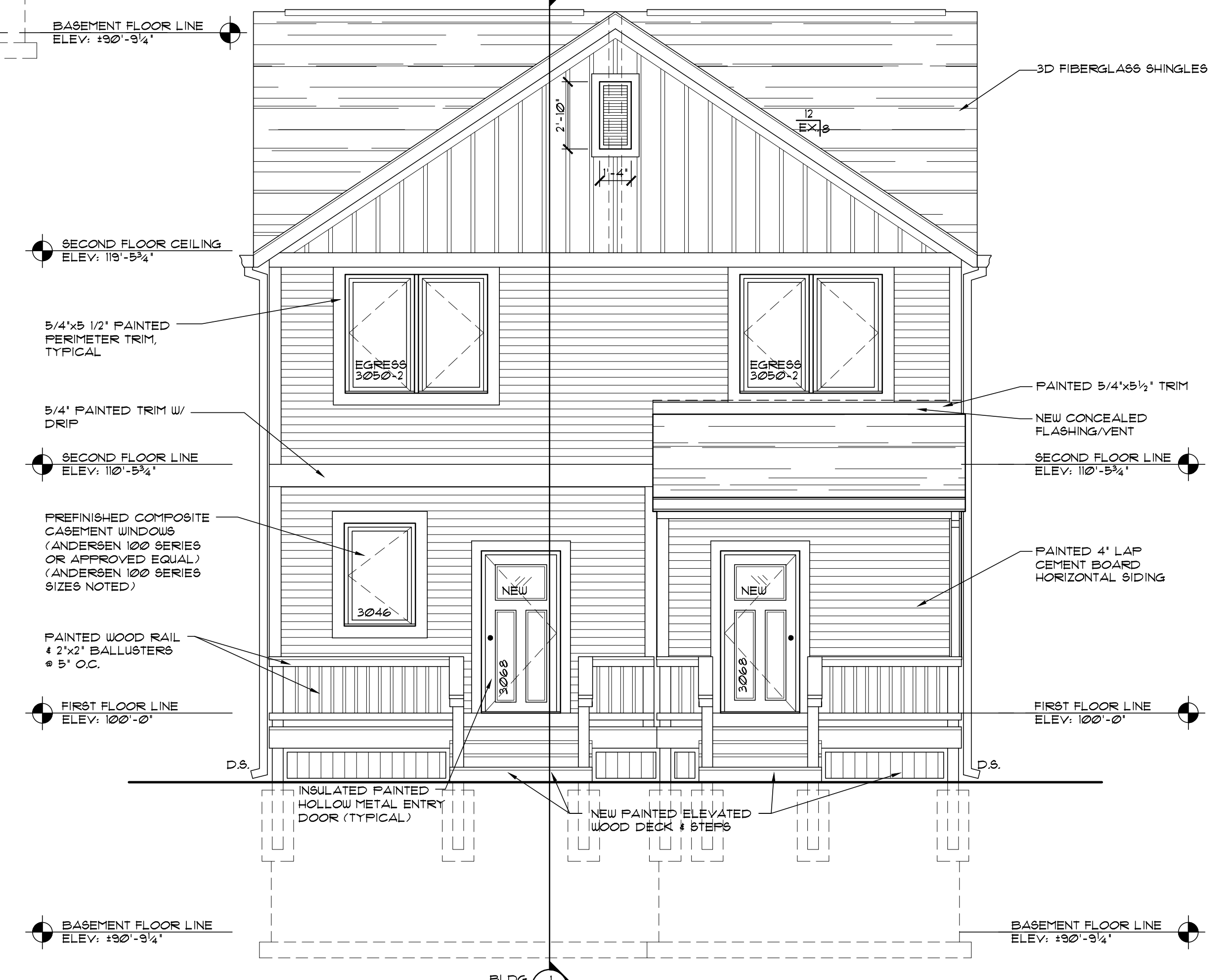
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A-3  
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**2 SOUTH ELEVATION**  
 SCALE: 1/4" = 1'-0"



**1 WEST ELEVATION**  
 SCALE: 1/4" = 1'-0"

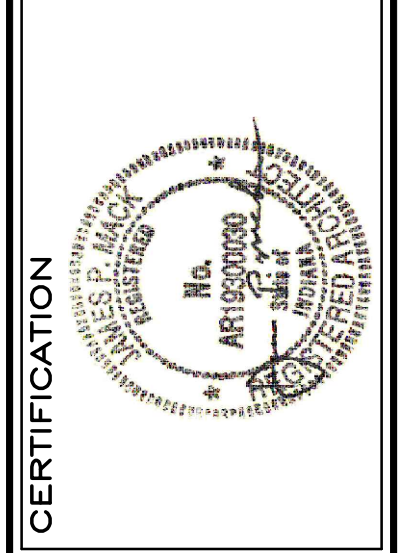
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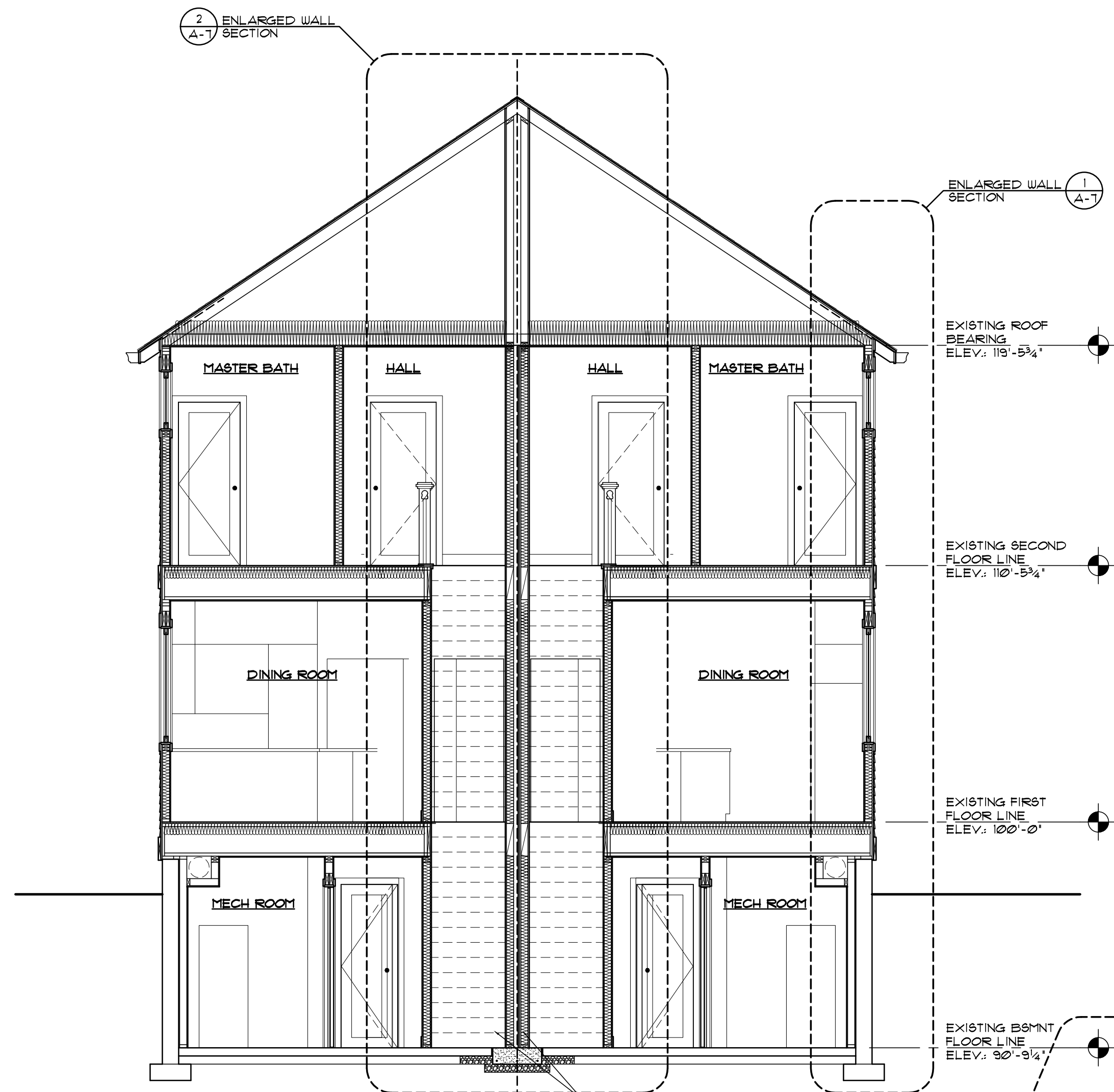
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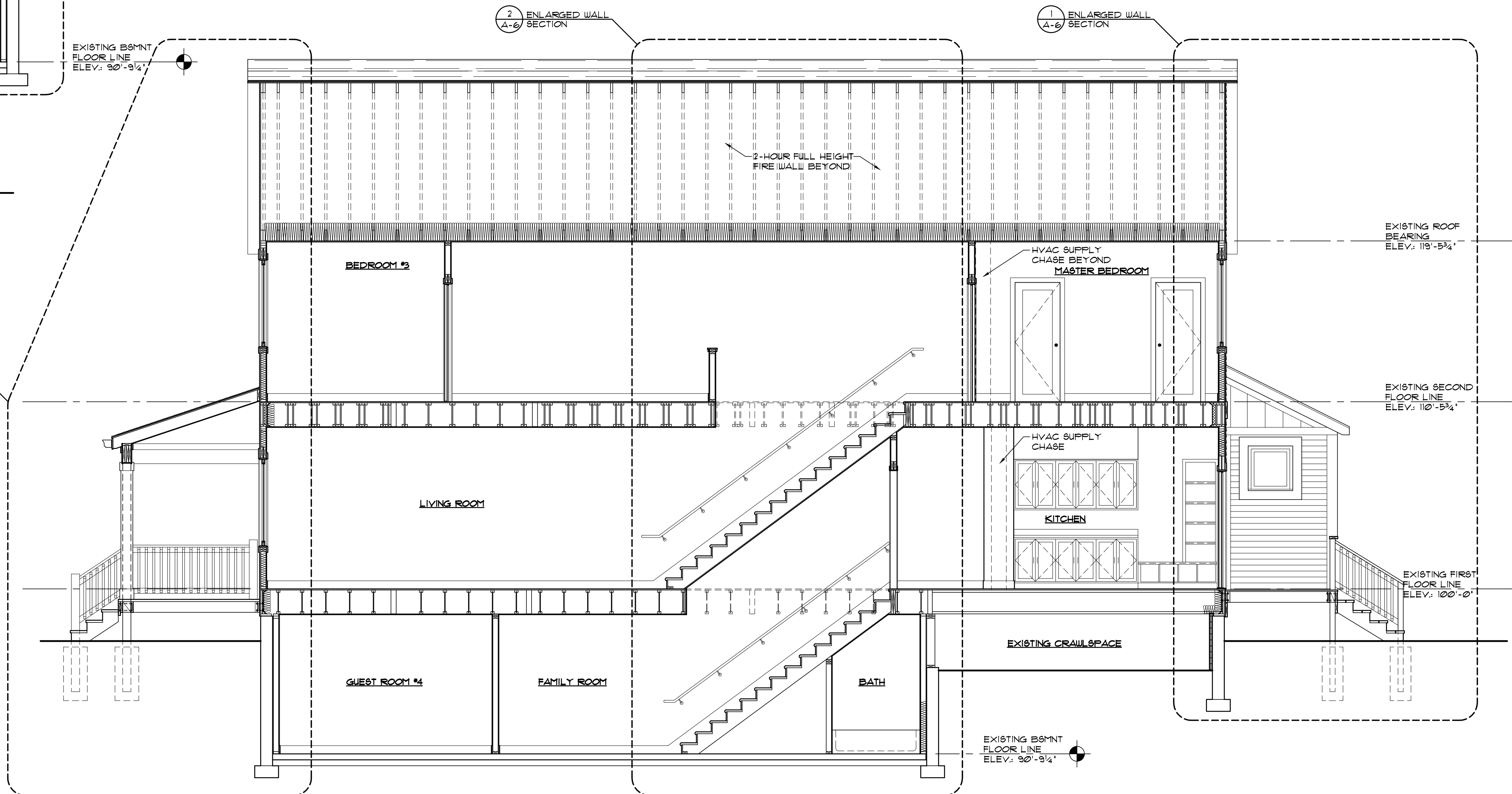


**A-4**  
 SHEET NO.



**2 BUILDING SECTION**  
SCALE: 1/4" = 1'-0"

2-HOUR DEMISING WALL:  
(2) 2x4 STUD WALL @ 16" O.C.  
W/ (1) LAYER OF 5/8" TYPE 'X' GYPSUM BOARD EACH SIDE  
# 2-HR SHAFT WALL IN CENTER IN ACCORDANCE W/ UL263



**1 BUILDING SECTION**  
SCALE: 1/4" = 1'-0"

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PROJECT NO:  
210

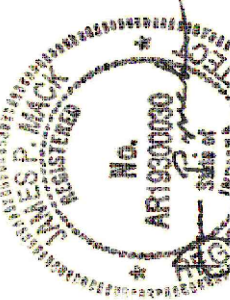
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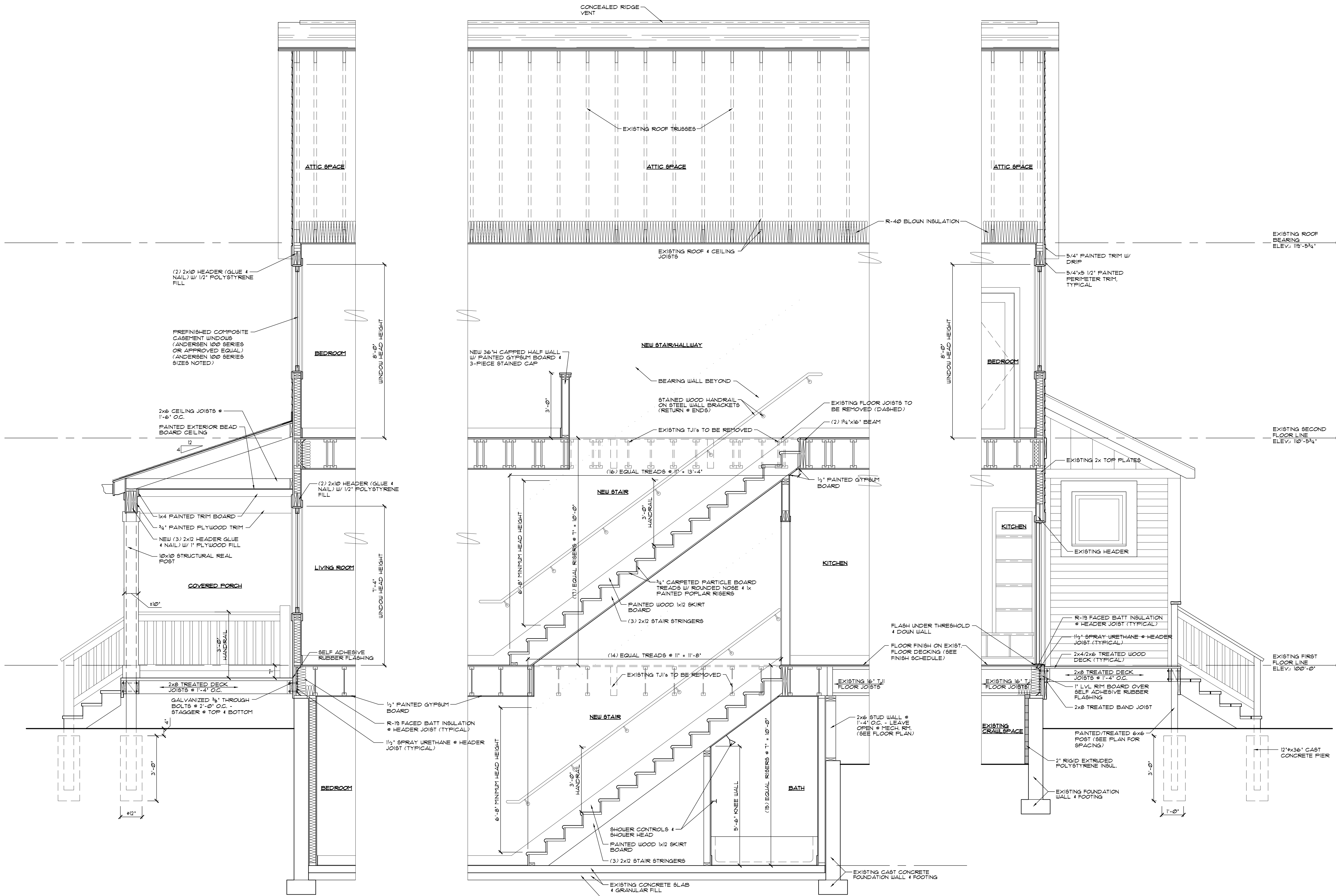
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**A-5**  
SHEET NO.



3  
A-6 ENLARGED WALL SECTION  
SCALE: 1/2" = 1'-0"

2  
A-6 ENLARGED WALL SECTION  
SCALE: 1/2" = 1'-0"

1  
A-6 ENLARGED WALL SECTION  
SCALE: 1/2" = 1'-0"

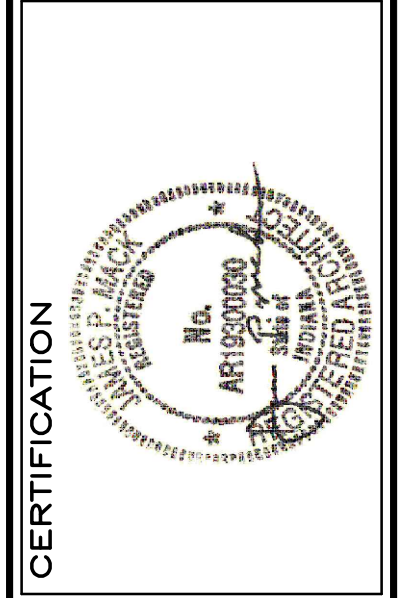
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